



McNAUGHTON

# Community Plan - North Portion

Urban Design Guidelines - Addendum

York Major Holdings Inc.

SUBMITTED: AUGUST 2007

APPROVED FINAL: OCTOBER 2007

REVISED - APRIL 2013  
APPENDIX A



Architecture  
Master Planning  
Community and Resort Planning  
Urban Design  
Design Guidance  
Landscape Architecture

AUGUST 2007

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**INTRODUCTION 1.0**

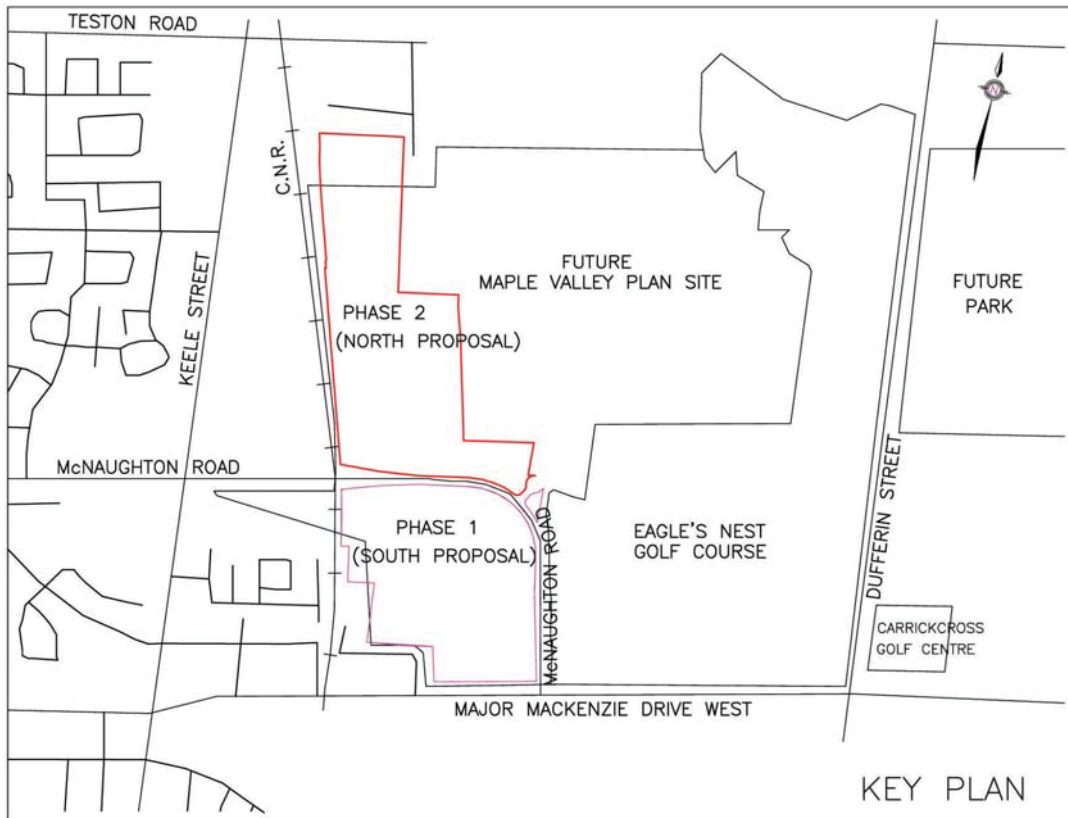
**1.1 Purpose**

This document has been prepared as an addendum to the Urban Design Guidelines for McNaughton as prepared by The MBTW Group and Watchorn Architect Inc. It contains design principles and guidelines that provide design direction in the placement and treatment of buildings, landscapes and their site plan configuration for the General Industrial, Outside Storage, and Open Space lands contained within the Phase 2 subdivision (North Proposal) put forward by York Major Holdings Inc. In addition to the principles and guidelines outlined in this addendum, reference shall be made to the Urban Design Guidelines for McNaughton. These two documents shall be read in conjunction with one another. The goal is to ensure that the Phase 1 and 2 developments achieve the principles of comprehensiveness, connectivity, consistency and/or compatibility.

**1.2 Context**

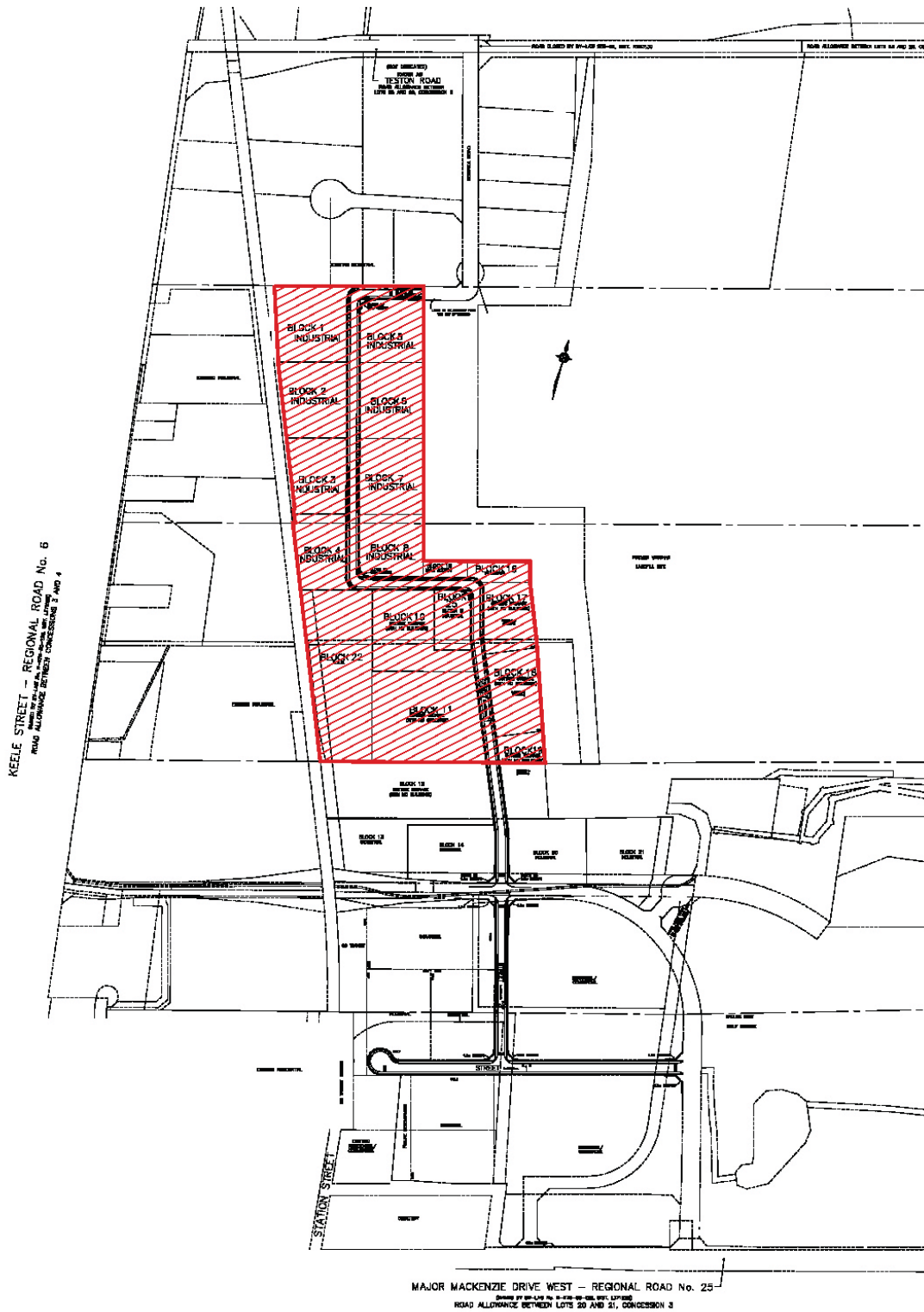
Located on the northeast corner of McNaughton Road and the Canadian National Railway, the Phase 2 lands (north proposal) lies just north of the Phase 1 lands (south proposal). Land uses that surround the subject lands include the Keele Valley Landfill site to the east, and existing industrial to the north and west.

The North Proposal is currently within vacant lands zoned M2 (General Industrial) to the north and OS2(H) (Open Space Park with Holding provision) to the south under OPA 332. The Phase 2 plan consists of 22 blocks. Blocks 1 to 9, 16 are proposed for general industrial, and Blocks 13, 14, 20, 21 are proposed for prestige industrial. Centrally located are Blocks 10 to 12 and 17 to 19 proposed for Outside Storage (with no buildings). Block 22 will be a stormwater management pond. In order to facilitate the proposed plan of subdivision put forward by York Major Holdings, the north proposal will be subject to an Official Plan Amendment.



- PHASE 1 (SOUTH PROPOSAL)
- PHASE 2 (NORTH PROPOSAL)

# 1.0 INTRODUCTION



 **ADDENDUM SITE COVERAGE (NORTH PORTION)**

**INTRODUCTION 1.0****1.3 Vision**

Further to the visionary goals outlined in the Urban Design Guidelines for McNaughton, the following are inclusive to Phase 2 lands:

- To create, preserve and enhance views and view corridors to the stormwater management pond;
- To coordinate a positive integration of the stormwater management pond with its neighbouring uses;
- To establish design guidelines for outdoor storage that minimizes negative views and potential impact along the streetscape; and
- To coordinate a compatible integration of differing land uses.

**1.4 Structure of Document**

The development of Phase 2 lands contains three land use designations: general industrial, outside storage (with no buildings) and open space. As such, this addendum is structured using the following general headings: “General Industrial”, “Outdoor Storage” and “Open Space” for the purposes of clarity and consistency with the Urban Design Guidelines for McNaughton.



## 2.0 GENERAL INDUSTRIAL LANDS - URBAN DESIGN

General Industrial lands are located along the northern portion of Phase 2. In support of the McNaughton Vision to create a unified and coordinated design consistent in quality with the Phase 1 lands, the following design principles shall be referred to in the Prestige Industrial component of the McNaughton Design Guidelines:

- General Site Planning Principles
- General Building Placement
- Corner Building Placement
- Building Setback
- Building Design
- Vehicular Access and Parking
- Servicing, Loading, Storage and Utilities
- Pedestrian Circulation

### 2.1 Outdoor Storage Interface

Where general industrial blocks are adjacent to or abut outside storage land uses, a positive integration shall be made through site planning and building design.

- Locate the main office component away from adjacent outdoor storage areas; and
- Locate parking and servicing areas closer to lot lines adjacent to outdoor storage areas.

### 2.2 Open Space Interface

Where general industrial lands abut open space blocks, high profile or use areas such as main entrances, offices, or cafeterias shall be sited to maximize views into the open space.

- Locate the architectural focal point of the building towards open space areas.



## GENERAL INDUSTRIAL LANDS - SITE LANDSCAPE 3.0

### 3.1 General Landscape Principles

The goal of the Landscape Design Guidelines for the General Industrial Lands is to support the overall Vision for the McNaughton Community. The General Landscape Principles described under Prestige Industrial Lands shall apply as if written herein.

### 3.2 Landscape Priorities

Priority should be given to the hard and soft landscaping in the following areas:

- Internal Road Landscape Buffers
- Lot Landscape Plans

### 3.3 Internal Road Landscape Buffers

- Internal streetscapes shall incorporate landscape elements on both public and private property
- Internal road right-of-ways will be treated with evenly spaced deciduous trees placed in straight rows. Average tree spacing shall be 12-metres on centre.
- Street trees shall be high branching, tolerant of urban conditions, and from the City of Vaughan approved species list.
- A 6m wide landscape zone shall be provided on private property along all internal roads.
- The landscape zone shall contain a second row of street trees (to achieve the look of a double row of street trees) and linear planting beds containing simple masses / groupings of plant materials. Plant materials shall be selected to provide a variety of colour, texture and seasonal interest. The use of a minimum 30% content of evergreen plant materials in the landscape zone shall be achieved.
- Planting within the landscape zone should be designed to screen views to parking and service areas from roadways while affording views of the building frontages.



### 3.4 Lot Landscape Plans

- Landscape design shall relate to the architecture of the buildings with particular attention to entrances, window locations, massing, detailing, signage and sightlines.
- All service areas visible to adjacent lands shall be treated with landscape screening and berming.
- Landscape areas should be used to break expansive paved areas and to buffer views of parking areas from adjacent streets and properties.
- Landscape design should be effective in all seasons. The use of a minimum 30% content of evergreen plant materials shall be achieved.
- All landscape areas not treated with landscape planting beds or paved for pedestrian and vehicular use shall be sodded. Seeding with low maintenance, native seed mixtures may be appropriate on slopes or adjacent open spaces.
- Where common entry drives to the industrial lots are not present, provide a minimum 1.5m wide landscape buffer along adjacent industrial or outdoor storage use property lines. Deciduous shade trees shall be provided on the property line at a maximum 12m on-centre spacing.
- Provide a minimum 3.0m wide landscape buffer along existing industrial use property lines. A combination of deciduous shade trees and coniferous trees shall be provided on the property line to provide separation and screening between uses.
- Provide a minimum 3.0m wide landscape buffer along adjacent parks or storm water management pond use property lines. A combination of deciduous shade trees and coniferous trees shall be provided on the property line to provide separation and screening between uses. Native plant materials from the TRCA approved species list shall be used in landscape buffers adjacent to storm water management pond uses.

## **4.0 GENERAL INDUSTRIAL LANDS - BUILT FORM**

General industrial built form shall be consistent in design and quality to the prestige industrial lands in McNaughton. Refer to the McNaughton Urban Design Guidelines for general design principles.

## **5.0 GENERAL INDUSTRIAL LANDS - SIGNAGE**

In addition to the signage design principles outlined in the McNaughton Urban Design Guidelines, all signage should be integrated with the main building and reinforce the architecture and landscape design of the block. It shall be consistent with the character of the prestige industrial blocks in Phase 1.



**OUTDOOR STORAGE LANDS (WITH NO BUILDINGS) - URBAN DESIGN****6.0****6.1 General Principles**

Outdoor storage blocks are centrally located within Phase 2 lands and shall be designed to create a positive integration with adjacent land uses.

- Outdoor storage shall be contained in enclosures where possible;
- Outdoor storage shall be screened where possible through, landscape buffering, berms, or a combination of the above; (see Site Landscape Guidelines - Section 7)
- Outdoor storage shall be located on site to allow for clear vehicular circulation patterns;
- Stacked storage shall be located closer to the rear yard away from the primary street frontage;
- Open storage shall be arranged in a visually organized manner that is unobtrusive to the streetscape along Street '3';
- Ensure a compatible integration with adjacent land uses.

**6.2 Stormwater Management Pond Interface**

Where outdoor storage land uses abut the stormwater pond, they shall be integrated sensitively into the natural environment. Public views from the Canadian National Railway can be enhanced through an appropriate integration of site planning and design.

**6.3 Prestige Industrial Interface**

Where outdoor storage abuts prestige industrial blocks, they shall be designed to promote a positive relationship of differing land uses.

- Primary access routes shall be located away from prestige industrial lands where possible; and

**6.4 General Industrial Interface**

Where outdoor storage are adjacent to general industrial land uses, storage shall be located to maximize open views from the industrial lands.

**6.5 Signage**

Signage associated with the industrial operation of the site shall be clearly located at vehicular access routes from Street '3'. They shall be consistently designed throughout and complementary in design to Phase 1 lands.

**6.6 Vehicular Access, Servicing, Loading, Storage and Pedestrian Circulation**

Refer to the McNaughton Urban Design Guidelines for the above design principles.

## 7.0 OUTDOOR STORAGE LANDS (WITH NO BUILDINGS) - SITE LANDSCAPE

### 7.1 General Principles

The goal of the Landscape Design Guidelines for the Outdoor Storage Lands is to support the overall Vision for the McNaughton Community. The General Landscape Principles described under Prestige Industrial Lands shall apply as if written herein.

### 7.2 Landscape Priorities

Priority should be given to the hard and soft landscaping in the following areas:

- Internal Road Landscape Buffers
- Lot Landscape Plans

### 7.3 Internal Road Landscape Buffers

- Internal streetscapes shall incorporate landscape elements on both public and private property;
- Internal road right-of-ways will be treated with evenly spaced deciduous trees placed in straight rows. Average tree spacing shall be 12-metres on centre;
- Street trees shall be high branching, tolerant of urban conditions, and from the City of Vaughan approved species list;
- A minimum 9m wide landscape zone shall be provided on private property along all internal roads;
- The landscape zone shall contain a combination of landscape, earth mounding, safety / security fencing and potentially retaining walls – Refer to **Outdoor Storage Lands: Landscape Buffer Cross Section**;
- The 9m wide landscape zone shall return into the lots a minimum of 20m from the internal road right-of-way along adjacent Prestige Industrial, General Industrial and Storm Water Management use property lines;
- Landscape shall include a second row of street trees (to achieve the look of a double row of street trees) and linear planting beds containing simple masses / groupings of plant materials. In addition to providing a variety of colour, texture and seasonal interest, plant materials shall be selected to provide maximum screening from vehicular and pedestrian traffic along internal roads. Shrub masses / groupings shall provide a minimum 1.0m height of screening. The use of a minimum 40% content of evergreen plant materials in the landscape buffer shall be achieved;
- Earth mounding shall be designed to achieve an average height of 1.8m. Vertical saddles shall be incorporated into the mound to provide visual interest. A maximum 3:1 slope on the street side of the mound and a maximum 2:1 slope on the lot side of the mound may be utilized. Slopes greater than 3:1 shall incorporate appropriate erosion / stabilization measures and be seeded with a low maintenance seed mixture;
- For the purpose of safety and security 1.5m height, black, vinyl, chain link fence shall be installed around the perimeter of the lot within the landscape zone. The fence shall be located at either the bottom of the earth mounding on the lot side of the mound or at the top of proposed retaining walls;
- Retaining walls shall be located within the landscape zone. Retaining walls may consist of large pre-cast concrete block systems.

**OUTDOOR STORAGE LANDS (WITH NO BUILDINGS) - SITE LANDSCAPE 7.0****7.4 Lot Landscape Plans**

- Landscape design shall relate to lot entrances, signage and sightlines;
- All service areas visible to adjacent lands shall be treated with landscape screening and berming;
- Landscape areas should be used to buffer views of parking and storage areas from adjacent streets and properties;
- Landscape design should be effective in all seasons. The use of a minimum 40% content of evergreen plant materials shall be achieved;
- All landscape areas not treated with landscape planting beds or paved for pedestrian and vehicular use shall be sodded. Seeding with low maintenance, native seed mixtures may be appropriate on slopes or adjacent open spaces;
- Where common entry drives to the outdoor storage lots are not present, provide a minimum 1.5m wide landscape buffer along adjacent outdoor storage use property lines. Deciduous shade trees shall be provided on the property line at a maximum 12m on-centre spacing;
- Provide a minimum 6.0m wide landscape screen adjacent to Prestige Industrial and General Industrial use property lines. A combination of deciduous shade trees and coniferous trees shall be incorporated along with earth mounding to provide separation and screening between uses. Earth mounding shall be to a minimum 1.0m height;
- Provide a minimum 3.0m wide landscape buffer along adjacent Parks / Open Space or Storm Water Management pond use property lines. A combination of deciduous shade trees and coniferous trees shall be provided on the property line to provide separation and screening between uses. Native plant materials from the TRCA approved species list shall be used in landscape buffers adjacent to storm water management pond uses; and
- For the purpose of safety and security, 1.5m height, black, vinyl, chain link fence shall be installed around the perimeter of the lot. Alternate types of safety and security fencing may be considered on a lot specific basis. Proposed alternates shall be an upgrade from chain link fence in terms of fence type and materials. The fence shall be located on the lot side of all required landscape buffers, screens and zones.

## 8.0 OPEN SPACE LANDS

### 8.1 Stormwater Management Pond - General Landscape Principles

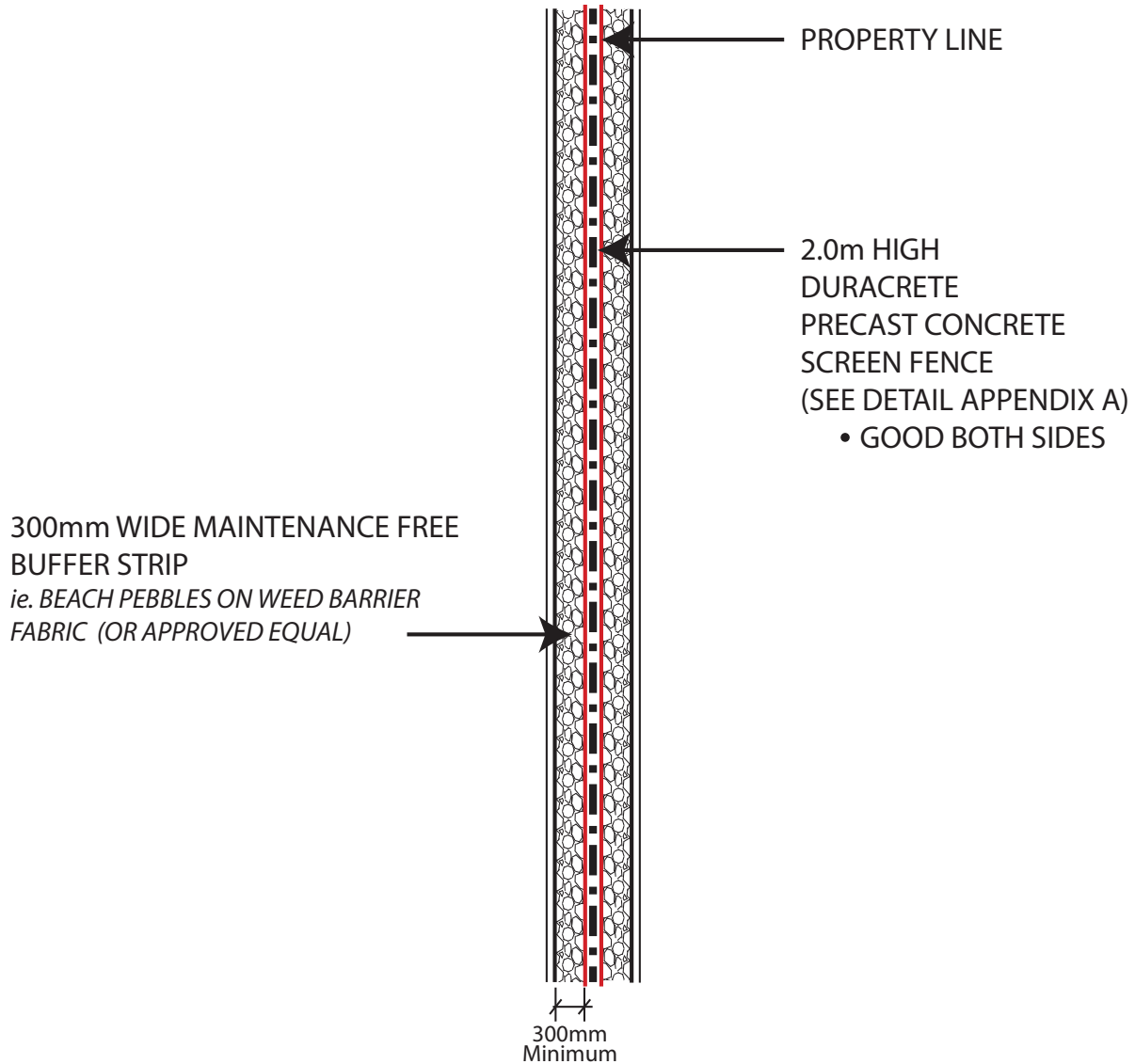
- The storm pond facility shall be designed to promote the goal of enhancing the natural landscape;
- The storm pond facility shall be designed with reference to the criteria set out in the current “City of Vaughan Design Guidelines for Stormwater Management Ponds” and the Toronto and Region Conservation Authority “Stormwater Management Facility Planting Guidelines”;
- Plant material within these facilities shall be species of trees, shrubs, groundcovers and aquatics that promote habitat and the appearance of natural plant communities;
- Adjacent to internal roads, views into the storm water facility shall be reinforced with focal elements; and
- Consideration shall be given to the inclusion of pedestrian pathways, seating areas and lookouts. All passive recreation activities shall be incorporated with attention to safety and access issues.

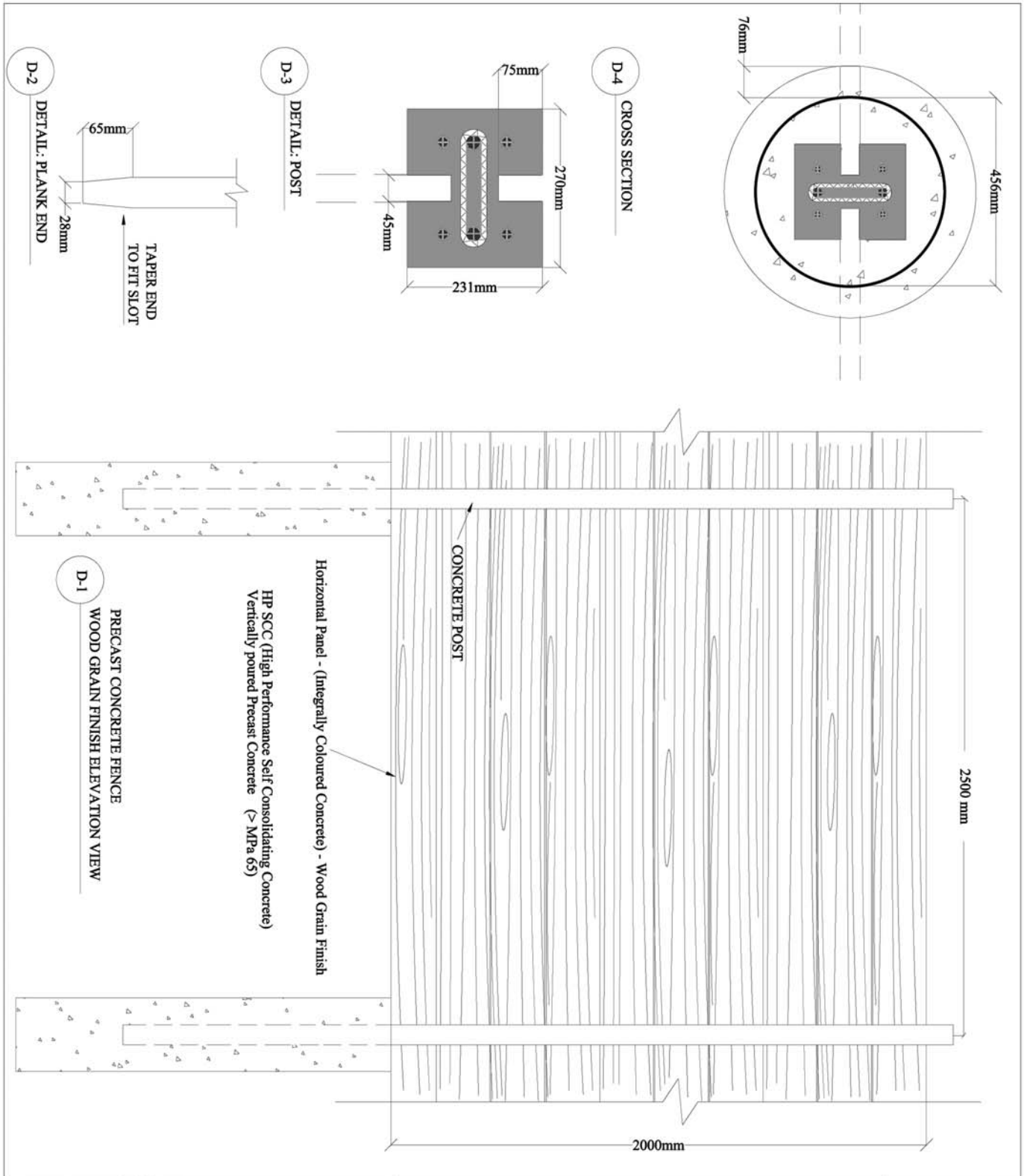


*Stormwater ponds appropriately integrated with adjacent industrial land uses and enhanced through naturalized planting.*

- *This appendix takes precedence over the requirements outlined in section 3.4 Lot Landscape plans within the approved October 2007 Guidelines*

**REQUIRED TREATMENT AT SIDE PROPERTY LINE** (Along adjacent industrial or outdoor storage property lines)





UNIT 5-15 SIMPSON RD,  
BOLTON, ONTARIO  
T 905-857-2451  
F 905-857-7086  
www.duracretefence.com  
info@duracretefence.com

TITLE:  
**MCNAUGHTON INDUSTRIAL COMMUNITY  
ALTERNATIVE FENCE OPTION**

DRAWING NO.  
**A-1**

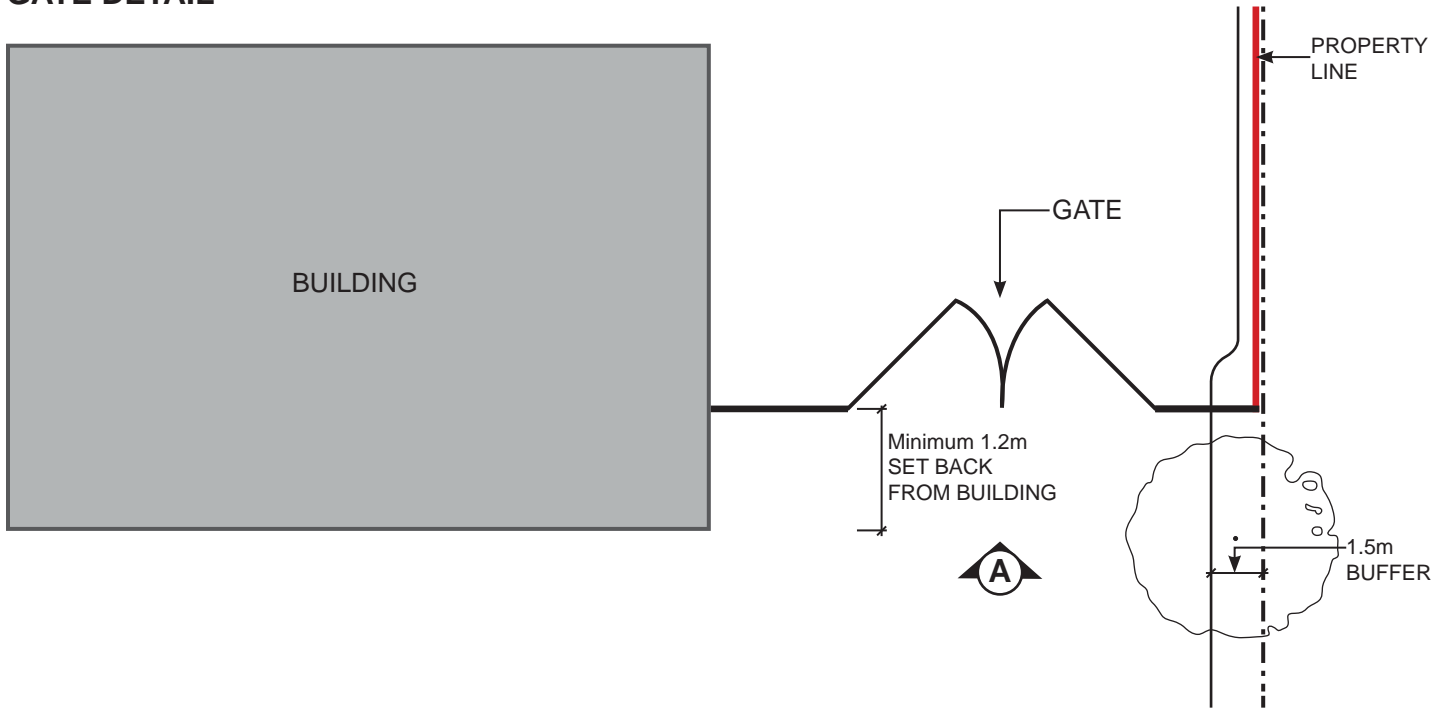
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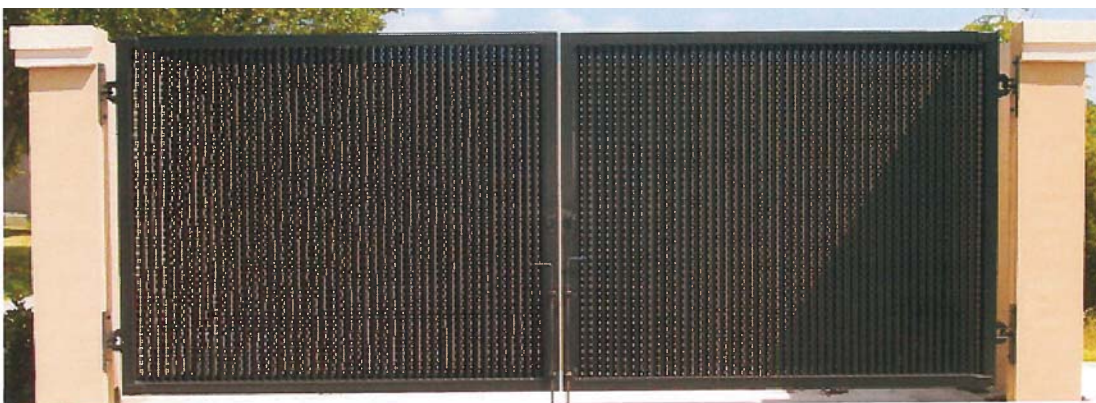
APPROVED BY:

DATE: MARCH 6, 2013

### GATE DETAIL



### SAMPLE GATE ELEVATIONS (DETAIL A)





**McNAUGHTON**

**Community Plan - North Portion**

Architecture Design Guidelines - Addendum

**York Major Holdings Inc.**

AUGUST 2007



Architecture  
Master Planning  
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AUGUST 2007

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**INTRODUCTION 1.0**

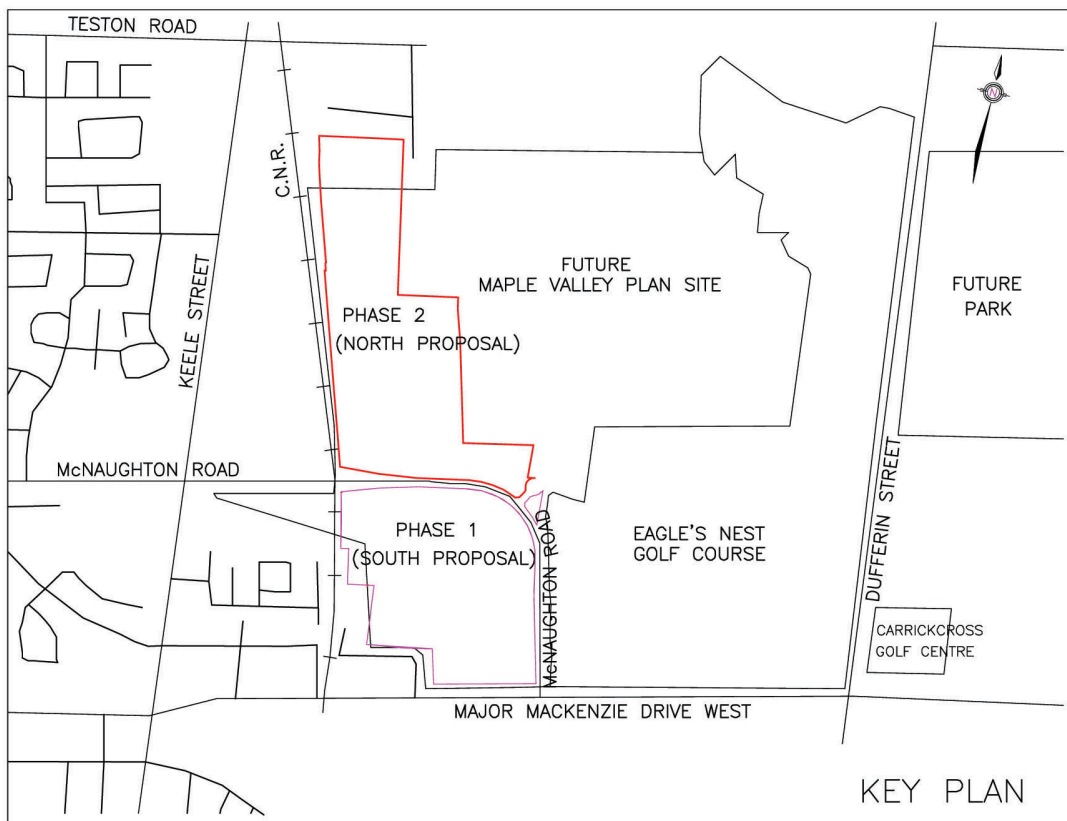
**1.1 Purpose**

This document has been prepared as an addendum to the Architecture Design Guidelines for McNaughton as prepared by The MBTW Group and Watchorn Architect Inc. It contains design principles and guidelines that provide design direction in the treatment of buildings and its coordination with landscaping for General Industrial lands contained within the Phase 2 subdivision (North Proposal) put forward by York Major Holdings Inc. In addition to the principles and guidelines outlined in this addendum, reference shall be made to the Architecture Design Guidelines for McNaughton. These two documents shall be read in conjunction with one another. The goal is to ensure that the Phase 1 and 2 developments achieve the principles of comprehensiveness, connectivity, consistency and/or compatibility.

**1.2 Context**

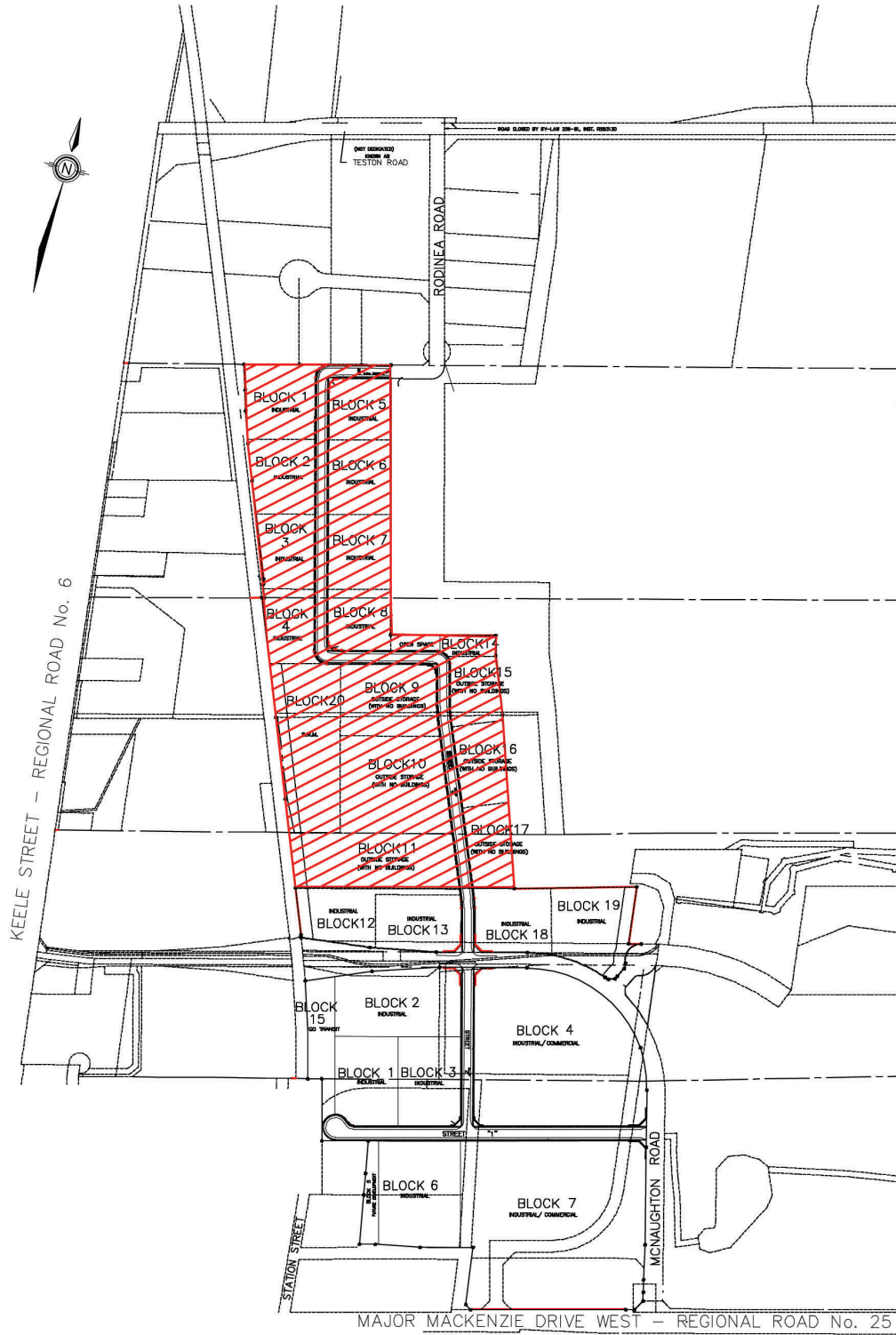
Located on the northeast corner of McNaughton Road and the Canadian National Railway, the Phase 2 lands (north proposal) lies just north of the Phase 1 lands (south proposal). Land uses that surround the subject lands include the Keele Valley Landfill site to the east, and existing industrial to the north and west.

The North Proposal is currently within vacant lands zoned M2 (General Industrial) to the north and OS2(H) (Open Space Park with Holding provision) to the south under OPA 332. The Phase 2 plan consists of 20 blocks. Blocks 1 to 8, 14 are proposed for general industrial, and Blocks 12, 13, 18 and 19 are proposed for prestige industrial. Centrally located are Blocks 9 to 11, and 15 to 17 proposed for Outside Storage (with no buildings). Block 20 will be a stormwater management pond. In order to facilitate the proposed plan of subdivision put forward by York Major Holdings, the north proposal will be subject to an Official Plan Amendment.



- PHASE 1 (SOUTH PROPOSAL)
- PHASE 2 (NORTH PROPOSAL)

# 1.0 INTRODUCTION



 **ADDENDUM SITE COVERAGE**

### **1.3 Vision**

Further to the visionary goals outlined in the Architecture Design Guidelines for McNaughton, the following are inclusive to the addendum site plan coverage:

- Ensure a consistent quality of architecture with the prestige industrial buildings;
- Establish a coordinated relationship of built form with adjacent open space features;
- Coordinate a compatible and appropriate integration of built form with “outdoor storage with no buildings” land uses.

### **1.4 Structure of Document**

The extent of which these architecture design guidelines cover include “general industrial” land uses. As such, this addendum is structured with the following general headings: “General Industrial” and “Priority Locations” for the purposes of clarity and consistency with the Architecture Design Guidelines for McNaughton.

## 2.0 GENERAL INDUSTRIAL LANDS - DESIGN GUIDELINES

### 2.1 Street and Building Relationship

High quality general industrial buildings

The architecture and site design of buildings will create a strong relationship with the streetscape that reinforces and supports the overall streetscape design of the community.

- buildings are encouraged to be located close to the street to provide a defined building edge;
- building setbacks at community gateway corners are encouraged to permit the creation of 'special places' - small squares or courtyards which can be used for public purposes by including seating, other street furniture and landscaping;
- orienting the buildings to be parallel to the street will provide a stronger edge as well as support the pedestrian scale and character of the community;
- the ground floor area of business park buildings is encouraged to be pedestrian-friendly by locating offices or service activities toward the street and by maintaining significant street frontage through the design of office/storefronts, entrances and signage;
- outdoor display areas are encouraged to provide positive streetscape elements; and
- buildings are encouraged to contribute to the overall quality of the streetscape by siting and designing the buildings within the surrounding context for each building design.

### 2.2 Building Massing & Roof Lines

Design emphasis is placed on building mass and articulation. Different building elements should be clearly defined with the interface providing opportunities to articulate transition through appropriate detailing. Design massing criteria that will be considered in the review process includes building height, number of storeys, roof or parapet configuration and building groupings where applicable.

- any long continuous building façade and/or roof line should be divided and varied to provide additional visual interest to avoid buildings with a square or "boxy" appearance;
- elevations are encouraged to contain changes in the vertical and horizontal plane to provide visual interest and variety;
- articulated elevations may also be achieved through the

use of other building design treatments such as building projections, porticos, and colonnades;

- elevations are encouraged to be pedestrian-friendly through scale, the provision of large windows at grade level, and the use of materials;
- the architecture is encouraged to be consistent with the character of the existing development;
- the design of the roof with respect to massing, orientation, pitch, articulation and colour should be appropriate to the architectural style of the building;
- the design of roof lines and parapet conditions should facilitate the integrated screening of any roof top mechanical units. This screening should be compatible with other materials and colours used on the building;
- where there is more than one building on a site, a consistent roof design appropriate to the architectural style is desirable along with a unified roof material and colour scheme the design of buildings, either on individual sites or within campus settings, should provide for the development of urban spaces along the street; and
- the design of roof lines and parapet conditions will facilitate the integration and screening of all roof top mechanical units. Mechanical units shall always be screened from public views.

### 2.3 Building Elevations

All building elevations shall provide consistency and visual interest through their design, articulation and fenestration.

- projecting elements such as bay, bow and boxed bay windows, entry stoops, porticos, roof extensions, cantilevered elements, buttresses, roof dormers, balconies and alcoves appropriate to the architectural style are encouraged to be provided to add detail and articulation to the design.
- the siting, massing, architectural style, colour and material treatment of individual buildings are to be compatible with the streetscape and the overall vision for the community;
- continuous blank walls are strongly discouraged; and
- elevations are encouraged to contain changes in plane and relief to divide long continuous stretches.

**GENERAL INDUSTRIAL LANDS - DESIGN GUIDELINES 2.0****2.4 Building Entrances**

Building entrances play a significant role in establishing an identity on the street, connecting the building with the street and community, and providing orientation for the user. All building entrances provide an opportunity to create an architectural statement which may be achieved in a variety of ways including by designing buildings with porticos or colonnades that emphasize the entrance locations.

- main entrances are to be oriented directly toward the public street with pedestrian walkway connections to the street and designated vehicular drop-off areas and / or convenience parking;
- architecturally pronounced feature entry points are encouraged to be created for all business park unit entries;
- colonnades are a very desirable urban design element that provide shelter from the weather, add architectural interest of the streetscape, and should be used to soften otherwise “bulky” massing for front elevations;
- main entrances are to be designed to meet all accessibility needs either by designing the entrance to be generally at the same grade as the adjacent sidewalk or by integrating other design solutions into the architectural design of the building; and
- all principal public entrances and entrances to the office component should be defined by glass with canopies and/or recessed entrances that provide weather protection and definition to the streetscape.

**2.5 Materials and Colour**

Building designs should have an appropriate use of materials on respective elevations, ie. good design founded on using the right material in the right location. Emphasis is placed on selecting materials and colours which are compatible with the vision of functional, clean and simple design.

- Architectural precast, concrete, metal cladding, steel and glass should be the predominant building materials; however, alternate materials will be reviewed and evaluated on their own merit and with respect to the overall design vocabulary;
- Excessive mixture of different materials at street grade on a single building are discouraged.

**2.6 Service Areas**

Service areas shall allow for clear vehicular movement and demonstrate a safe and attractive pedestrian environment. To achieve this, service areas shall be located away from primary roads and parking areas.

- Locate service areas between buildings or in the rear of the building; and
- Service areas should be located away from public visibility and screened with architectural walls or a landscape buffer.

## 2.0 GENERAL INDUSTRIAL LANDS - DESIGN GUIDELINES

### 2.7 Landscape Design

The primary objective of the Landscape Design for the General Industrial Lands is to support the overall vision for the McNaughton Community – the establishment of a Community with a strong, distinct and cohesive identity. As outlined in the Urban Design Guidelines, this is to be achieved with specific emphasis on the following landscape design priorities:

- Support and enhance the high quality streetscapes within the Public realm;
- Maintain the image of a successful development through promoting high quality, coherent and coordinated landscape design;
- Create a pedestrian friendly landscape through the incorporation of pedestrian connections, focal points, features and linkages;
- Landscape design shall relate to the architecture of the buildings with particular attention to entrances, window locations, massing, detailing, signage and sightlines;
- All service areas visible to adjacent lands shall be treated with landscape screening and berming;
- Landscape areas should be used to break expansive paved areas and to buffer views of parking areas from adjacent streets and properties.

The above landscape design priorities related to General Industrial Lands are further defined in the Landscape Master Plan, prepared for the McNaughton Community. This document shall be referenced as part of the landscape design process.

### 2.8 Signage

The design of signage is encouraged to create attractive streetscapes. Signage identification should provide increased awareness of the company and directions to visitors and through traffic. Given the significance of signage, clear and unobstructed views are essential. Signage design is to be complementary to the use appropriate to the area context, in accordance with the provisions of the City of Vaughan's Sign By-Law.

- The design of signage for an industrial building or site should be integrated with the architectural design of the building or buildings and will be reviewed at the same time through the Design Control Review Process;
- Integrate corporate signage and logos into the unified sign design for the building or site;
- Fascia, podium, and ground mounted signs are encouraged to respond to the character established within the industrial area;
- Signs are to be compatible in size, style, colour, shape and materials to the associated building;
- All signage shall comply with the City of Vaughan sign By-Law.

### 2.9 Lighting

Building lighting will contribute significantly to the appearance of the general industrial area. Facade lighting, entrance lighting, and landscape feature lighting will be required as part of the overall design package and should be considered together with the internal building lighting as it illuminates through the building glazing.

**PRIORITY LOCATIONS - SITE PLANNING & DESIGN GUIDELINES 3.0**

General industrial built form at priority locations shall follow the same level of design quality as the prestige industrial lands in McNaughton. The following priority locations shall follow the design principles and guidelines outlined in Section 4, Priority Locations - Site Planning and Design Guidelines of the Architecture Design Guidelines for McNaughton.

- Gateways
- Corner Lots
- Curved Streets and Elbows
- Open Space
- Pedestrian Promenade



## 4.0 DESIGN REVIEW PROCESS

Prior to application for site plan approval for development within Phase 2 lands, the applicant will be required to obtain Design Control Approval from Watchorn Architect Inc. As such, the design review process for Phase 2 lands shall be consistent with the requirements for Phase 1 lands. The following components of the design review process shall be referred to in the Architecture Design Guidelines for McNaughton.

- Site Plan Approval
- City of Vaughan
- McNaughton Community Plan Approvals
- Orientation Meeting
- Design Review Process
- Preliminary Design Proposals
- Final Working Drawings
- Site Review