

**2. PROPOSED RENOVATIONS AND ADDITION OF 8006 KIPLING AVENUE IN WOODBRIDGE
HERITAGE CONSERVATION DISTRICT
WARD 2 - VICINITY OF WOODBRIDGE AVENUE AND KIPLING AVENUE**

Recommendation

The Manager of Urban Design and Cultural Heritage recommends:

1. That the proposed additions and renovations BE APPROVED subject to the following conditions:
 - a) That the applicant submit a Conservation Plan to the satisfaction of the Manager of Urban Design and Cultural Heritage which will include Building Permit drawings, building material specifications, and repair information; and,
 - b) That any significant changes to the proposal by the Owner, may require reconsideration by Heritage Vaughan Committee, which shall be determined at the discretion of the Director of Development Planning.

Contribution to Sustainability

This report is consistent with the goals and objectives within *Green Directions Vaughan*, the City's Community Sustainability and Environmental Master Plan, specifically:

Goal 1: To significantly reduce our use of natural resources and the amount of waste we generate

Objective 1.6: "To continue to reduce the amount of waste generated by Vaughan citizens, businesses and institutions"

Goal 4: To create a vibrant community where citizens, business and visitors thrive

Objective 4.1: "To foster a city with strong social cohesion, an engaging arts scene, and a clear sense of its culture and heritage"

Economic Impact

There are no requirements for new funding associated with this report.

Communications Plan

All agenda items and minutes relating to Heritage Vaughan committee meetings are circulated to relevant City departments, applicants and their representatives.

Purpose

The purpose of this report is to seek Heritage Vaughan approval for the proposed renovations, additions, and repairs to an existing house at 8006 Kipling Avenue, Designated Part V, in the Woodbridge Heritage Conservation District (HCD).

Background - Analysis and Options

Location

The subject site is located on the west side of Kipling Avenue just north of Woodbridge Avenue in the Woodbridge Heritage Conservation District.

Existing House Designated Part V and Registered Status and Gothic Revival Style

The subject property is located in the Woodbridge Heritage Conservation District and is therefore Designated Part V as per the Ontario Heritage Act. The subject property is also Listed on the Register of Property of Cultural Heritage Value as per Section 27 of the Ontario Heritage Act. The existing house at the subject property is constructed in the Gothic Revival style (also known as Victorian Vernacular) circa 1880. The inventory for the Woodbridge HCD identifies this building as a “contributing” building.

Policies for Existing Heritage Buildings and Kipling Avenue Character Area Apply

The subject property falls within the Kipling Avenue Character Area of the Woodbridge HCD and contains an existing contributing heritage building, therefore, the applicable policies within those sections apply (6.1.2 and 6.2.2).

Kipling Avenue North is defined by a range of building types and styles and are mostly residential within the 2-3 storey height range. The HCD Guidelines state that contributing buildings shall be maintained and that new construction shall be consistent with existing character of the area.

Proposal to Demolish Unsympathetic Additions and Construct New Additions in Gothic Revival Style – Heritage Impact Statement Submitted

The existing building contains unsympathetic additions on the front and rear elevations and the applicant is proposing to remove them, restore the front elevation, and add an addition to the rear of the building in the same Gothic Revival architectural style. The applicant has submitted a Heritage Impact Statement (also known as a Heritage Impact Assessment) to qualify this proposal (Attachment #2).

The front elevation currently contains a clapboard sunroom with a 1960s “picture” window above the porch on the second storey where a bell-curved porch would typically be located. The applicant is proposing to remove this sunroom and create a traditional bell-curve porch along with a second storey window and dormer.

The rear of the property currently contains a plywood-sided and aluminum-sided rear kitchen addition that does not add to the cultural heritage value of the subject property. The applicant is proposing to remove this kitchen addition and construct a 2-storey addition to the rear of the building that will be clad in brick and contain similar 2over2 hung windows. The applicant has noted in the report that while the windows will be similar, the windows on the new portion will be flat-headed to distinguish from the arched windows found on the existing portion. The rear addition will be slightly taller than the existing front portion of the house at a difference of 1 foot and 9 inches. Reclaimed brick from other portions of the house will be used in the proposed renovations wherever possible.

The proposal also includes interior renovations, such as the removal of interior walls and moving of the stairway, to accommodate the rear rooms included in the new proposal. The existing foundation will be extended to reach lower into the ground below the frost line, though the new foundation will be built to full depth. Finally, the proposed work will include repair work to the existing brickwork of the building. Full details of the proposed construction and repair work is included in the attached report.

Associated Committee of Adjustment files Supported by Cultural Heritage staff

The applicant has applied for severance application B026/15 to allow an easement with 8000 Kipling Avenue to the south for a shared driveway.

The applicant has also applied for Variance Application A158/15 to allow a shared driveway with the neighbour to the south and to permit an interior side yard setback of 2.08 metres where 4.5 metres is required.

The proposed easement and variances are all intended to legally recognize existing conditions as the existing setback between the heritage building at 8006 Kipling and the property line does not allow for a driveway to be located fully within the property limits. The applicant is therefore asking for a relief on the required interior side yard setback and an easement for driveway access with the neighbour to the south.

Relationship to Vaughan Vision 2020/Strategic Plan

This report is consistent with the priorities set forth in Vaughan Vision 20/20 Strategic Plan, through the following initiatives, specifically:

Service Excellence:

- Preserve our Heritage & Support Diversity, Arts & Culture
- Lead & Promote Environmental Sustainability
- Promote Community Safety, Health & Wellness
- Demonstrate Excellence in Service Delivery

Regional Implications

N/A

Conclusion

Cultural Heritage staff recommends approval of the proposal as it restores parts of the original building, removes unsympathetic additions, and constructs new additions that are sympathetic to the building and the Woodbridge Heritage Conservation District. Staff also support the proposed Committee of Adjustment applications as they seek to recognize existing conditions found in a Heritage Conservation District where village settlement began in the mid 1800s.

Attachments

1. Location Map
2. Heritage Impact Statement, March 17, 2015

Report Prepared By

Daniel Rende, Cultural Heritage Coordinator, ext. 8112
Moirra Wilson, Senior Urban Designer, ext. 8353

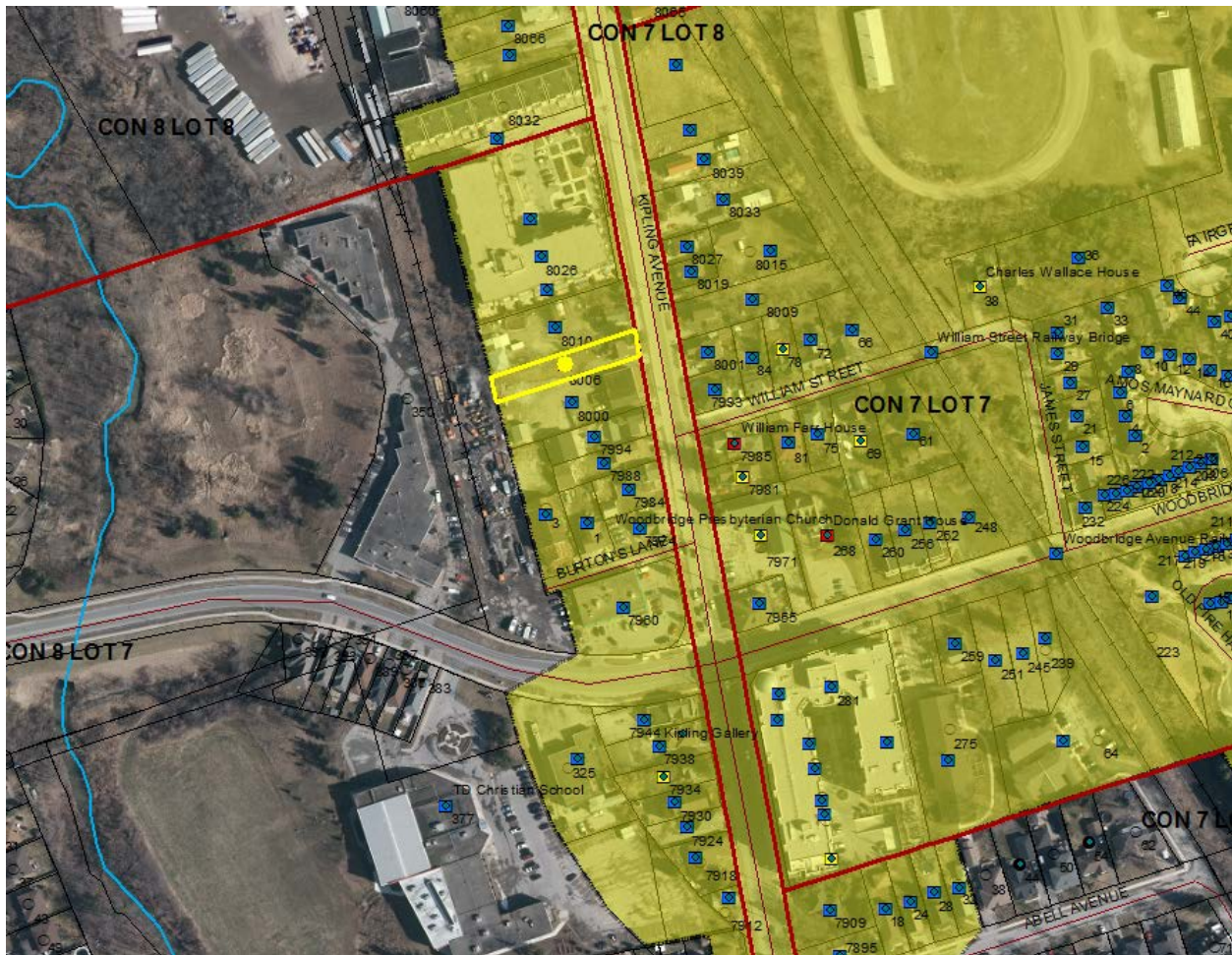
Respectfully submitted,

ROB BAYLEY
Manager of Urban Design and Cultural Heritage

/LG

ATTACHMENT 1

LOCATION MAP



Heritage Impact Statement
8006 Kipling Avenue, Woodbridge, ON
In the City of Vaughan
17 March 2015



East front of the house from Kipling Avenue

Paul Oberst Architect

With Historical Background Material by
Su Murdoch Heritage Consulting

Mandate:

The Provincial Policy Statement addresses the situation of development adjacent to protected heritage resources in Section 2.6.3:

2.6.1 Significant built heritage resources and significant cultural heritage landscapes shall be conserved.

Conserved is defined in the Provincial Policy Statement as follows:

Conserved means the identification, protection, use and/or management of cultural heritage and archaeological resources in such a way that their heritage values, attributes and integrity are retained. This may be addressed through a conservation plan or heritage impact assessment.

This Heritage Impact Statement is prepared in compliance with this requirement in the Provincial Policy Statement, and relies on the guidance provided in the City's *Heritage Impact Assessment Terms of Reference*.

Heritage Resource Owner: John Anthony Bertacco
8006 Kipling Avenue, Woodbridge ON, L4L 2A1

Heritage Consultant: Paul Oberst Architect
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Note: Appendix A has its own bibliography.

Appendices:

- A- Cultural Heritage Value Evaluation 8006 Kipling Avenue, City of Vaughan
by Su Murdoch Historical Consulting Summary
- B- Heritage Consultant's CV

1. Executive Summary

The house at 8006 Kipling Avenue in Woodbridge is a modest polychrome brick dwelling of two storeys. It is listed in the Vaughan Heritage Inventory and in the List of Significant Heritage Structures. The 2007 Heritage Conservation District Inventory denominates its style as Gothic Revival, dates it circa 1880, and notes the decorative brickwork, decorative arches, the later addition over the original porch (a sunporch), and later aluminum siding. The HCD Inventory categorizes the building as “contributing” to the heritage character of the District.

I engaged Su Murdoch Historical Consulting to produce a report on historical background, chain of ownership, and an evaluation of the heritage value. Her report is included as an appendix. Her conclusion is that the house continues to be a Contributing Property as defined in the Woodbridge Heritage Conservation District Study and Plan, 2009.

Notwithstanding its contributing character, the house suffers from significant deficits:

- 1) There are substantial structural issues.
- 2) There have been unsympathetic alterations and additions to the house.

Both of these areas are discussed in detail in the body of the report.

The owner proposes to retain the original body of the house, to restore the front façade, to remove the later front and rear additions, and to construct a larger new rear addition to accommodate his needs as the owner/occupant of the property. The addition will be setback on both sides from the existing side walls of the house, and will have a further setback about halfway along its south wall. Part of the project will be the replacement of the existing foundation, which is failing and causing severe problems to the integrity of the building, as some of the following photographs will show.

The addition is proposed to be clad in reclaimed or matching brick. The windows are of a similar size and proportion to those in the original building. The window heads are flat, in contrast with the segmental arches on the main building, in order to distinguish the new work from the old

In my professional opinion, the proposal will conserve and restore the heritage character of the original building, and the addition will create a usable dwelling for the owner. The owner’s investment will provide for a long life for the heritage resource, which has suffered considerable degradation in its structural and heritage aspects, and will suffer irreparable decay without intervention. I believe the proposal will enhance, rather than detract from the heritage character of the District.

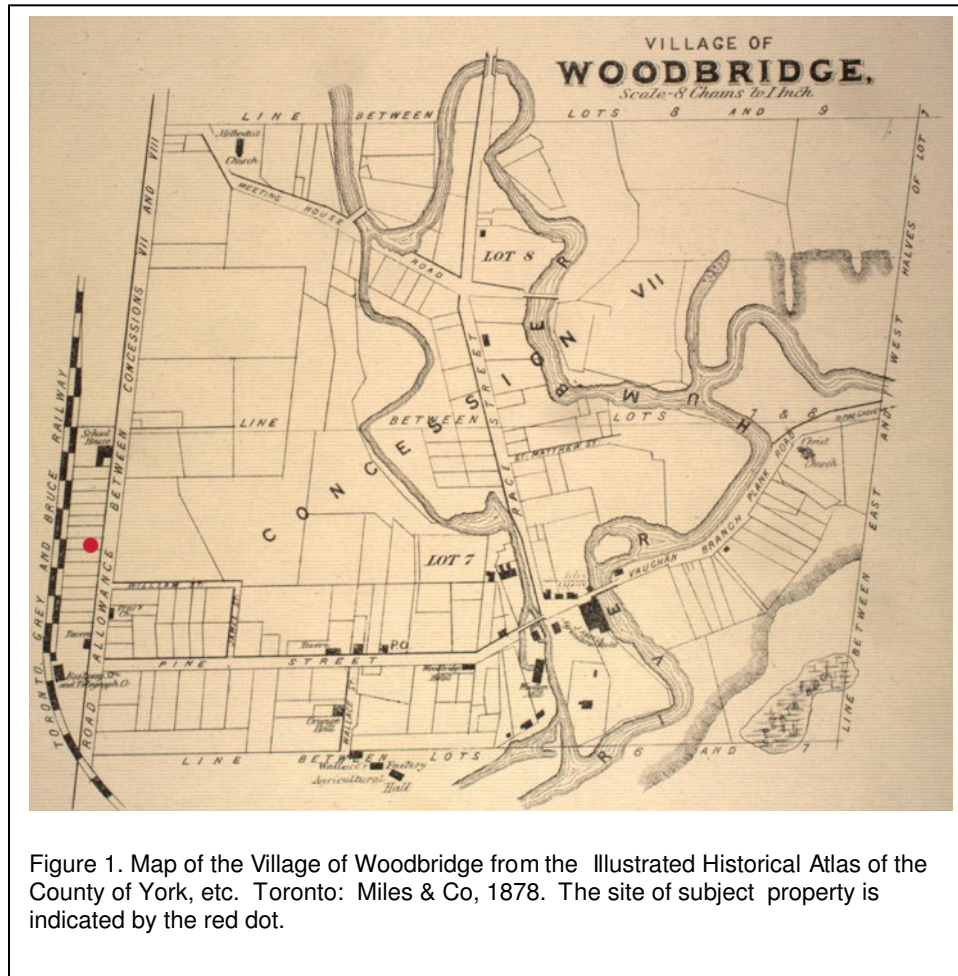
2. Engagement

I was engaged by the owner, John Anthony Bertacco, to produce a Heritage Impact Assessment for restoration, alterations and additions to the property at 8006 Kipling Avenue in Woodbridge. I made site visits on 6 June and 27 June to examine the existing building, and document it with photographs. I engaged Su Murdoch Historical Consulting to undertake a historical background and heritage value study, which is included as an appendix to this document.

My assessment of the heritage impact relies on my own expertise—I am an architect and a professional member of the Canadian Association of Heritage Professionals—taking guidance from accepted standards for heritage conservation in Ontario.

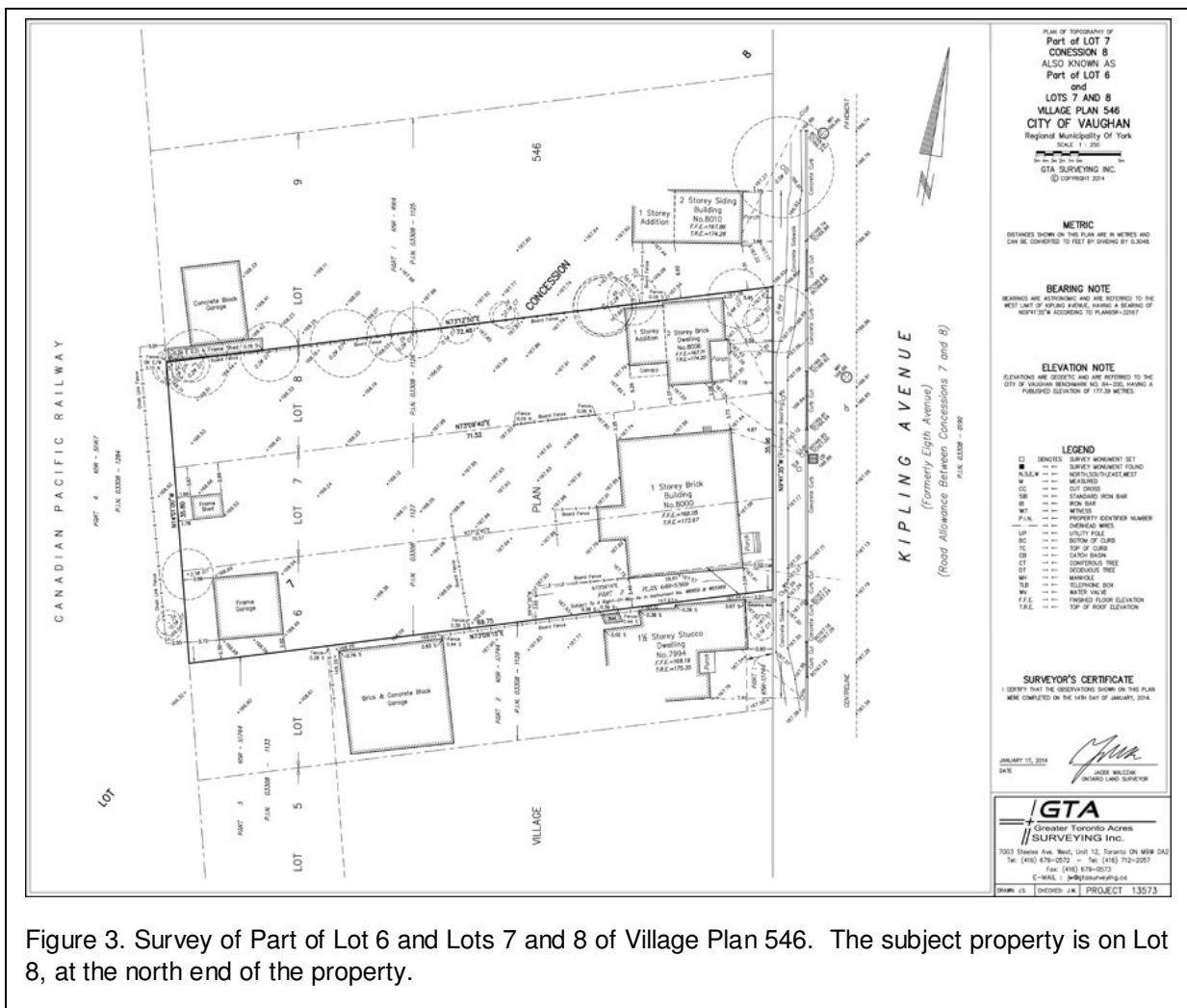
3. Introduction to the Site

The property is located on the west side of Kipling Avenue, about 150 metres north of Woodbridge Avenue. It is on one of a range of lots, called the Burkholder Range, and when the lots were laid out the Toronto Grey and Bruce Railway ran along the back of the range. As the list of owners' occupations shows, this was a neighbourhood of modest homes for modest citizens.



The village has seen many changes since the house was built, as seen in Figure 2 on the next page. The railway is now located 150 metres east instead of directly behind it. And the commercial heart of the village is now located where the river and mill flows once ran.





4. Introduction to the House

Description of the Existing House

The house is a 2 storey, L-plan vernacular Victorian gothic workers house. The construction is brick veneer over a timber frame. The masonry is dichromatic, with buff quoins, banding, and voussoir blocks contrasting with red brick field. The house has had a number of additions since original construction. A shed-roofed sun porch addition above the original front porch is the most obvious, and the rear additions all appear to post-date the original construction. Construction of the sun porch involved removal of all the brick on both walls behind it and most of the front roof, as well as the insertion of new square porch posts.

Closer examination shows a number of other alterations that would not have been obvious to Murdoch. The south gable is asymmetrical: the west eave is higher than the east, which is unlikely to be an original condition. There is evidence of fire in the roof, which may have led to a reworking. It is impossible to determine which height would have been original, but the east slope cuts across the decorative arch of the window, suggesting that the east eave was lowered. Except for the southernmost three rafters, the entire roof was reframed at a much shallower slope, incorporating the sunporch addition. In addition, the foundation does not appear related to the construction above. The Murdoch research indicates a smaller original footprint, and it's possible that some of the foundation of the previous configuration remains. It's very possible that the original heating was by the kitchen stove, and that the basement was constructed to accommodate a later furnace.

The house has suffered significant uneven settlement of the foundations, and the exterior walls are out of plumb in many places. The brick work shows many settlement cracks, many of which have been poorly repaired. Investigation has revealed that the footings under the projecting gabled bay are only 2 feet below grade. 140 years of frost heave explains the cause of the damage to that part of the building.



Figure 4. Front (east) view of the house. The later sunporch is evident.



Figure 5. The projecting gabled bay on the front, which is hidden by the tree in the photo above.



Figure 6. View from southwest showing later rear additions.

The general exterior aspects are shown in Figures 4-9. Settlement damage to the masonry is shown in Figures 10-13. Floor plans are shown in Figures 14-16. Figure 17 shows evidence of a fire in the roof.



Figure 7. Rear (west) view of the house. The later addition is on the right..



Figure 8. The north wall of the original house is windowless. The bump in the roof ridge due to the raising of the cross ridge is visible just to the right of the chimney.



Figure 9. The east gable end cuts across the decorative arch of the second floor window.



Figure 10. Desperate repairs to masonry at the northeast corner.



Figure 11. Northwest corner. Note also stepped crack between the windows.



Figure 12. Northeast corner out of plumb in north-south direction.

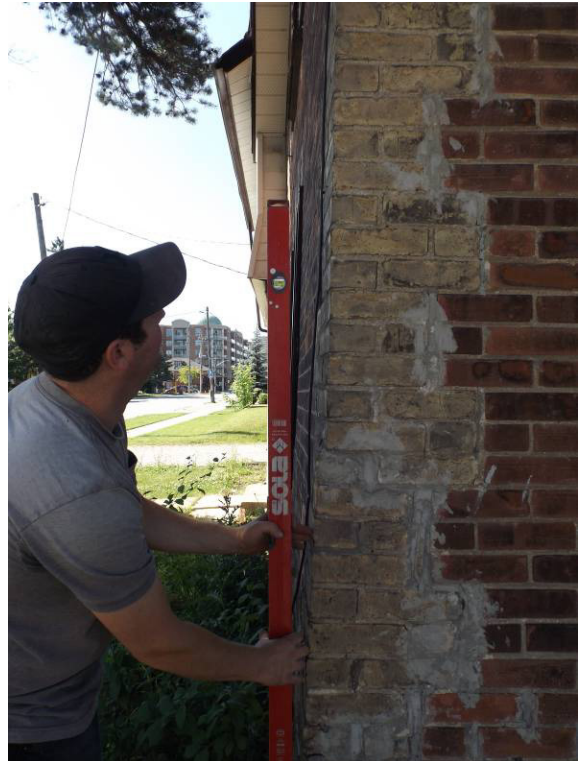
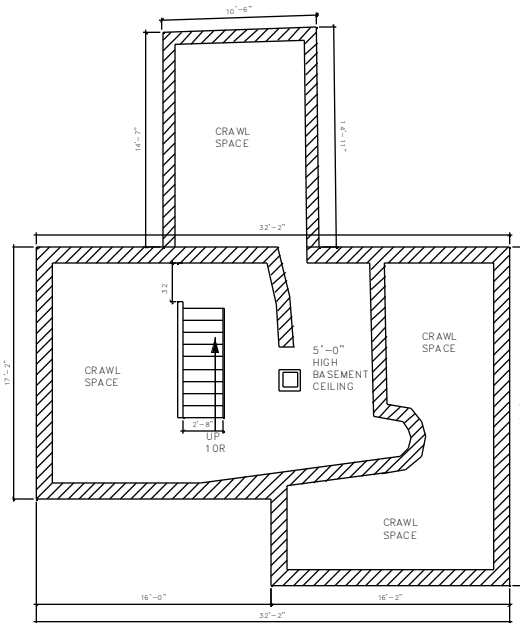
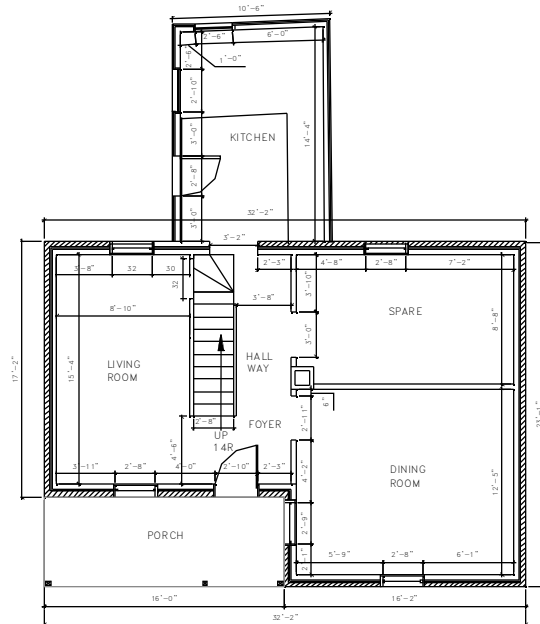


Figure 13. Same corner out of plumb in the other direction too.



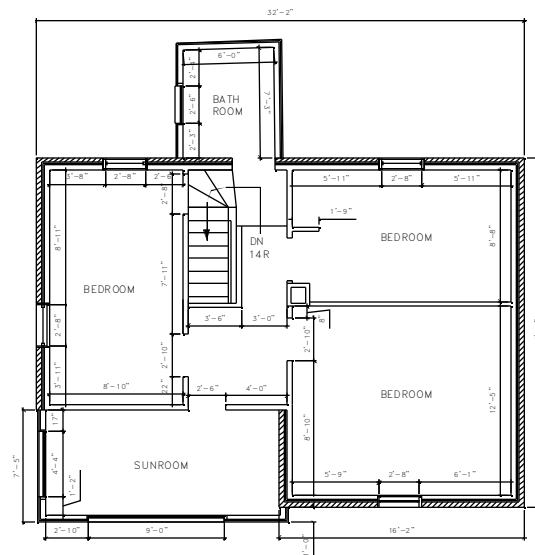
BASEMENT FLOOR PLAN

Figure 14. Footings around crawl space on the right (north) part of the building are only 2 feet below grade—the cause of the structural deficits. The basement area is only 5 feet high.



MAINFLOOR PLAN

Figure 15. Original room layout consists of small rooms, the largest being only 12' 5" x 14' 6". The room designated "spare" was probably the original kitchen, with the chimney for the stove in the corner. In keeping with its modest character, the ceilings are only 8' high. The current kitchen is of indeterminate age. There may have been a "tail" here originally.



2ND FLOOR PLAN

Figure 16. The bathroom at the rear and the sunroom at the front are definitely later additions. In adding the sunporch, all of the brick on the original 2nd floor of the house, and all of the east-facing roof slope was removed.

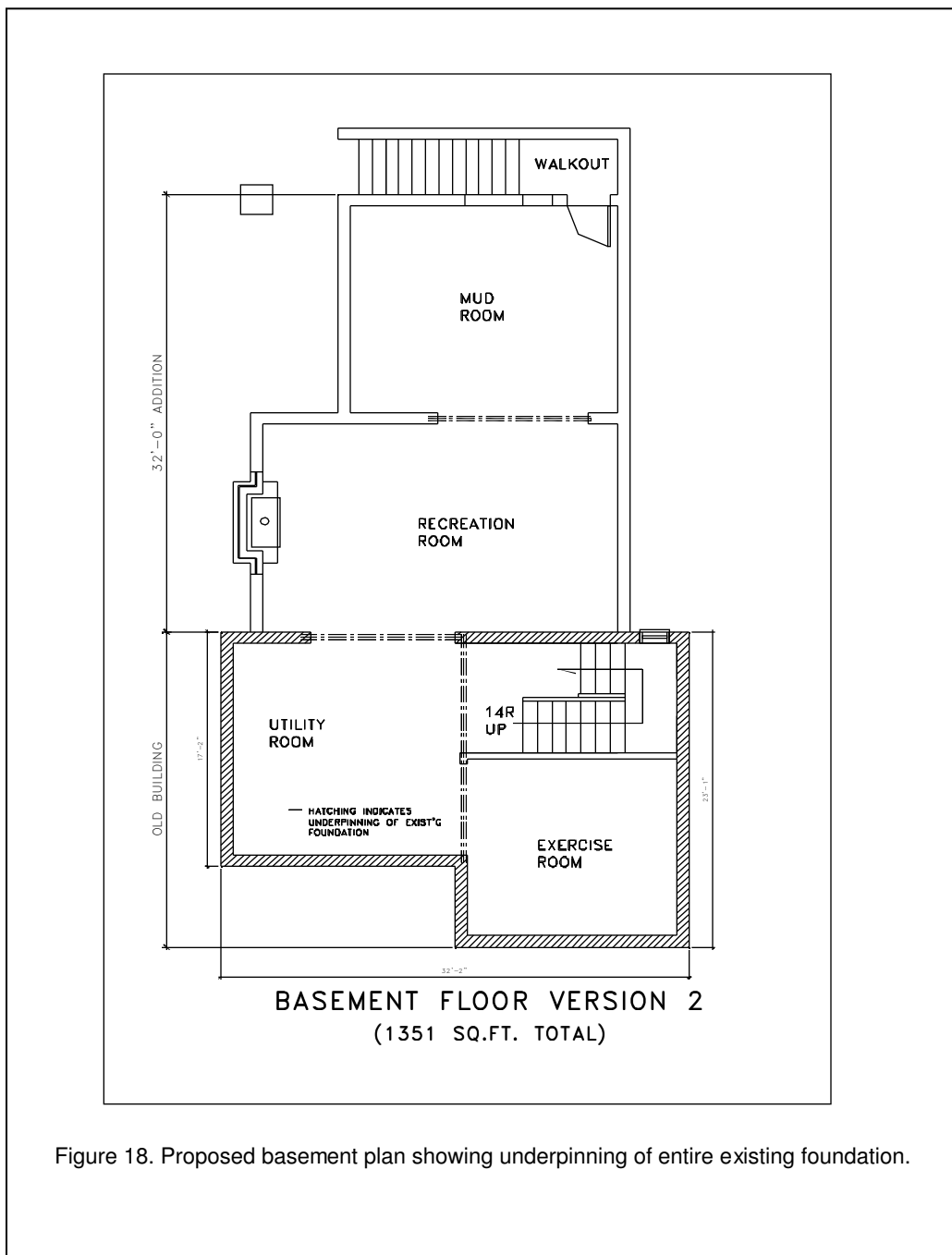


Figure 17. Evidence of a fire: Extensive charring over the back bedroom in the second floor.

5. The Proposal

Structural Remedies

The first order of business is to stabilize the structure by underpinning the existing deficient foundation to a depth of 4 feet in order to get the bearing level below the frost line. The basement portion of the house, which has a ceiling height of only 5 feet will also be underpinned, to provide a useable height basement. These steps will provide a solid foundation under the heritage resource, to forestall future movement. At the same time, existing deficiencies in the ground floor framing will be corrected. The basement of the rear addition will be full-height.



Removal of Existing Addition and Alterations to Existing Building

Removing the sun porch addition will expose the missing brick behind it, and open most of the east roof to the sky, as shown in Figures 19 and 20.

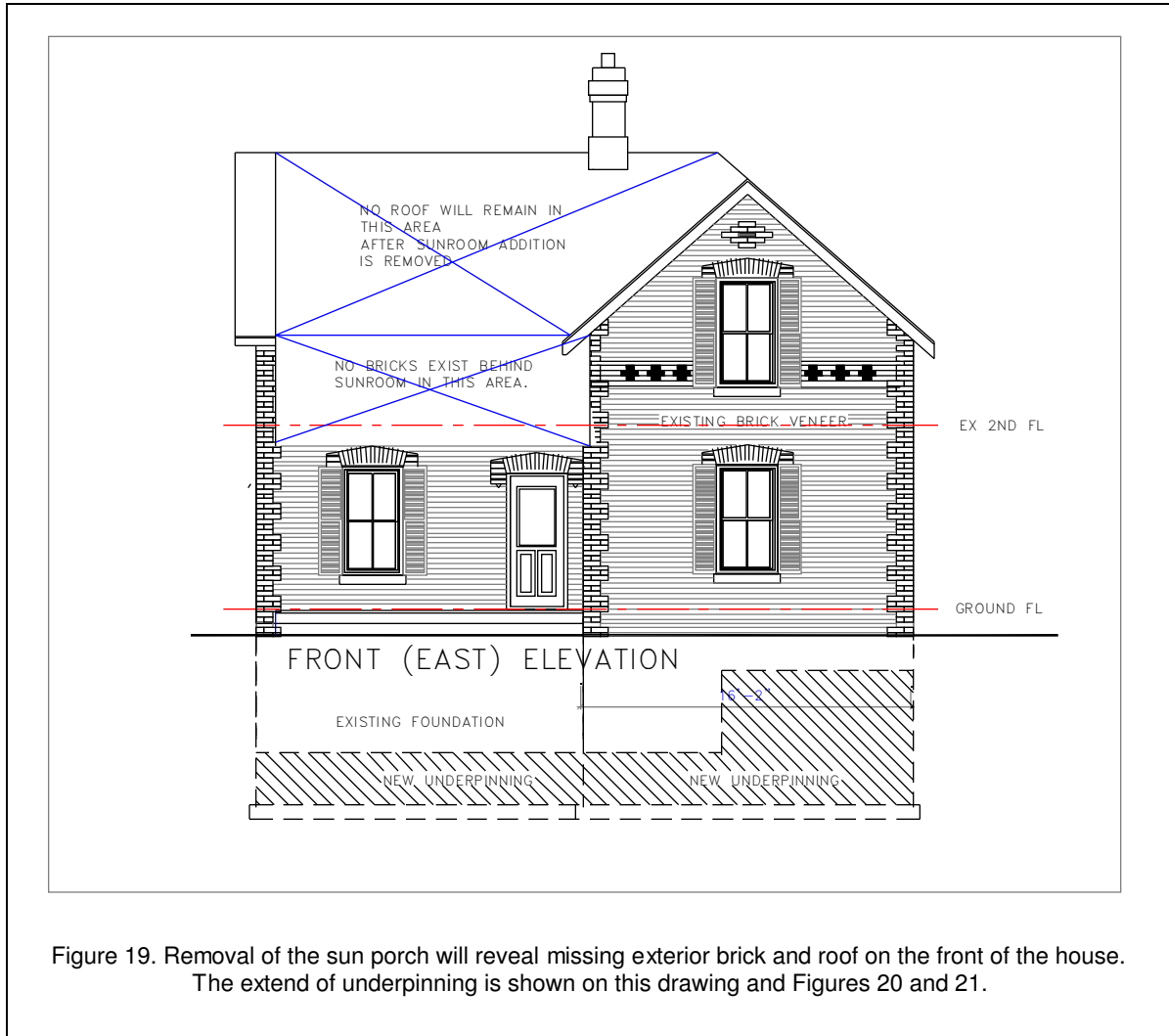


Figure 19. Removal of the sun porch will reveal missing exterior brick and roof on the front of the house. The extend of underpinning is shown on this drawing and Figures 20 and 21.

Removal of Existing Addition and Alterations to Existing Building, continued

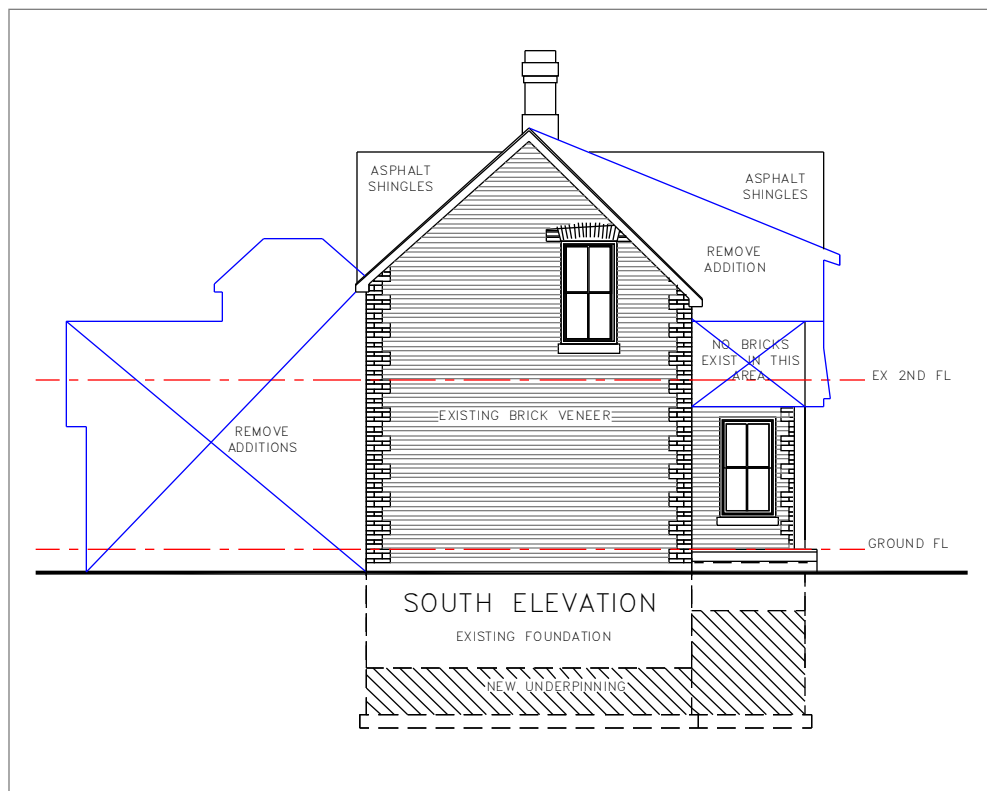
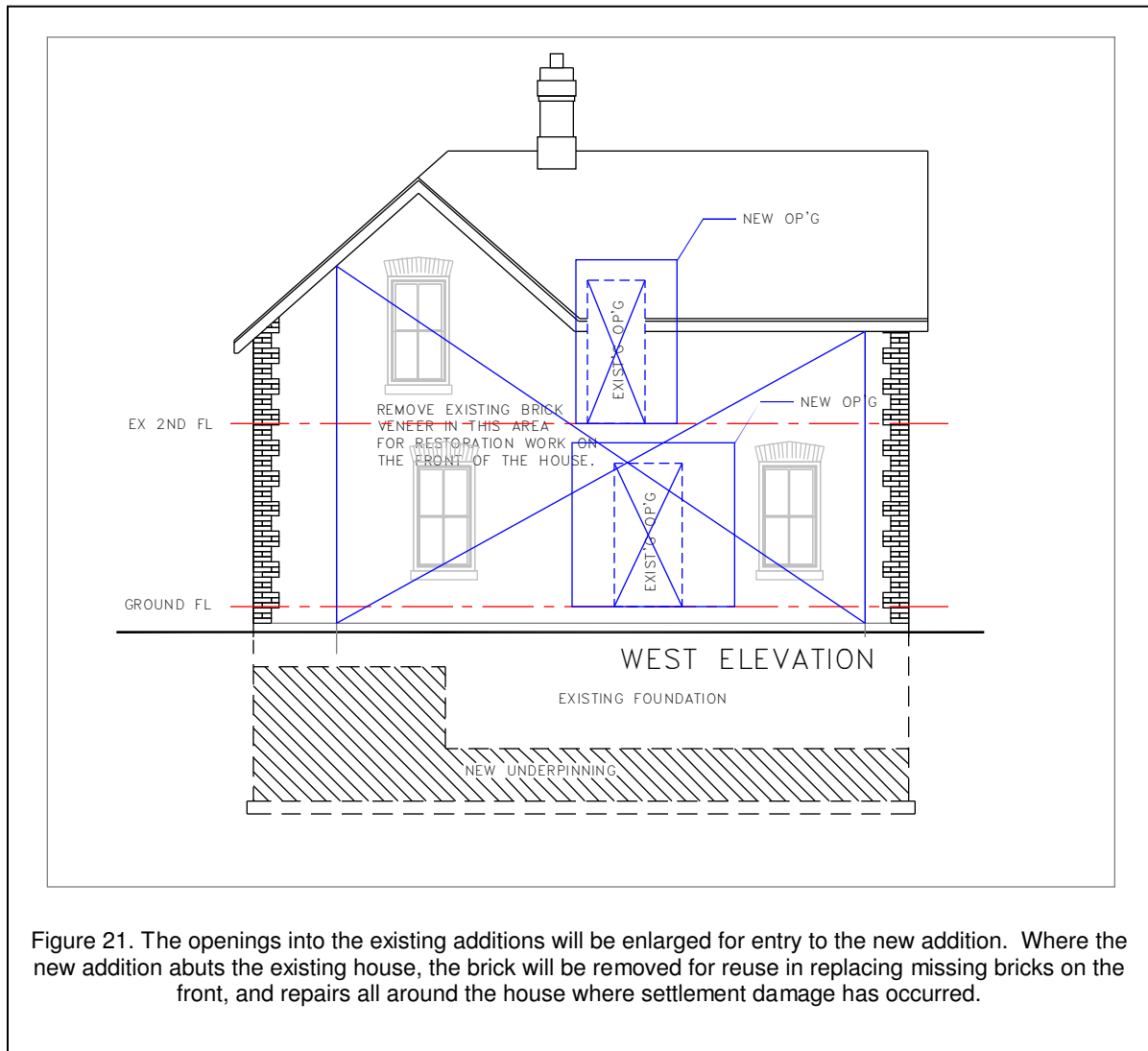


Figure 20. Additional brick is missing on the south of the projecting front-gable bay.

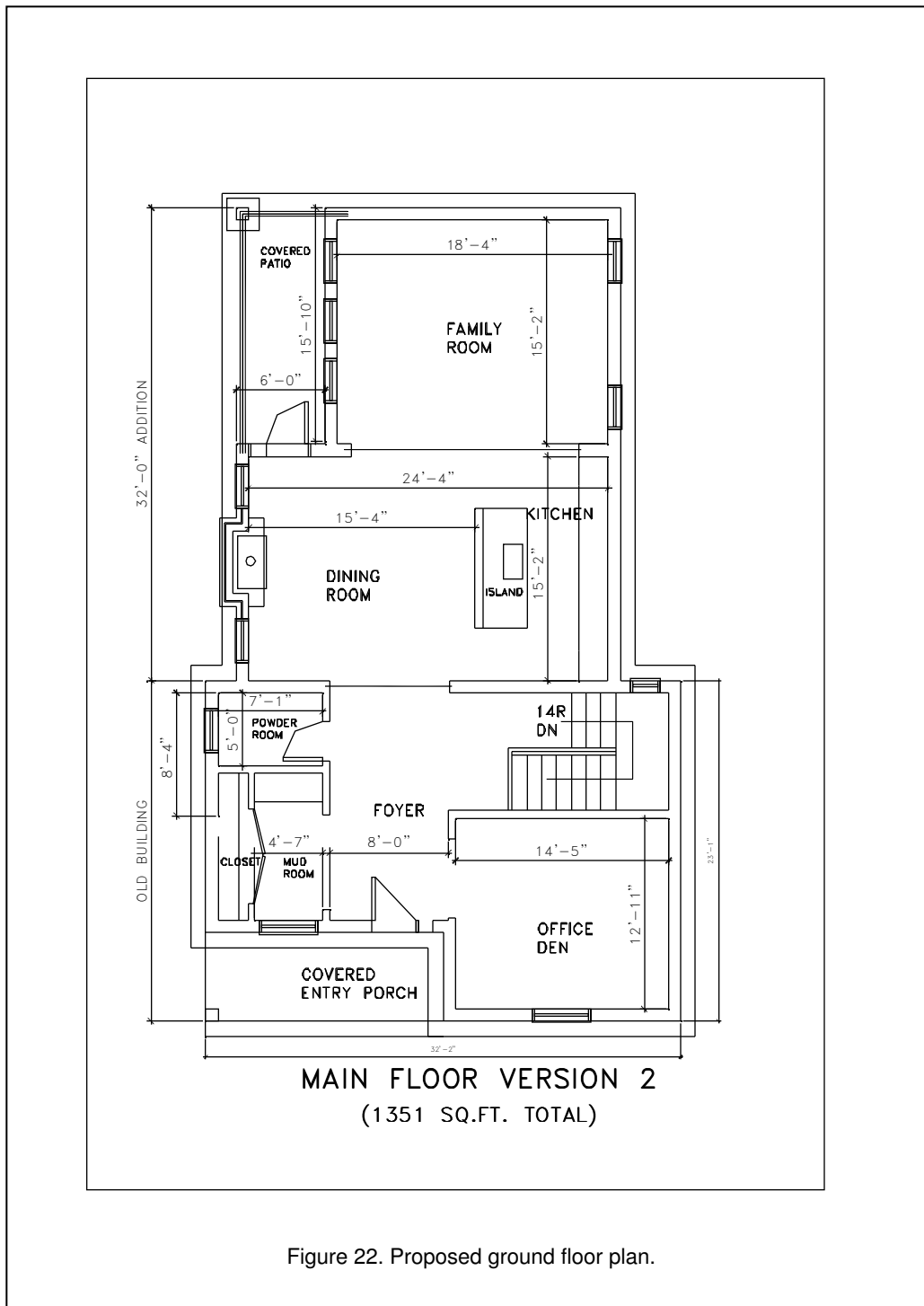
Removal of Existing Additions and Alterations to Existing Building, continued.

The rear of the existing building will be altered as shown in Figure 21.



New Addition and Interior Alterations

The interior layout in the existing house will be altered, and a rear addition will be constructed to provide a house of suitable size for the owner's family, as shown in the plans in Figures 22 and 23.



New Addition and Interior Alterations, continued

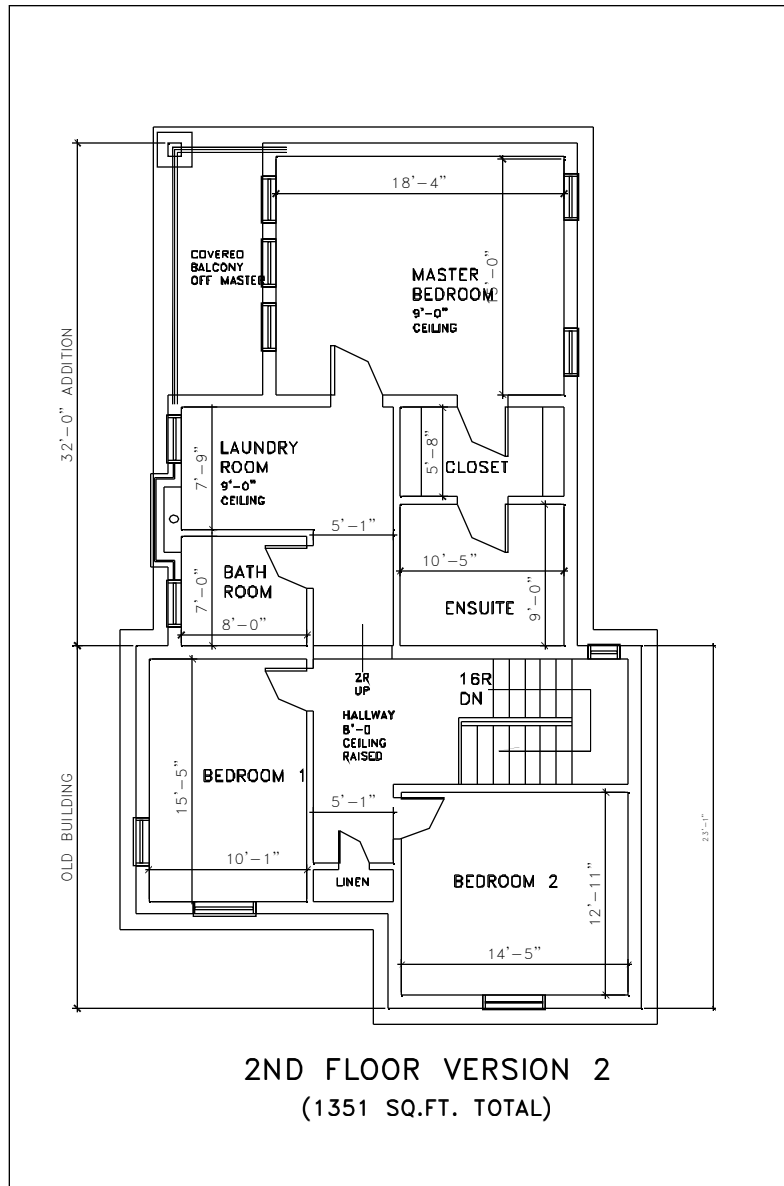


Figure 23. Proposed 2nd floor plan.

New Addition and Interior Alterations, continued

The design of the addition required careful consideration of a roof plan to ensure minimal visibility from the street. To a great extent, the roof determined the design of the building below.

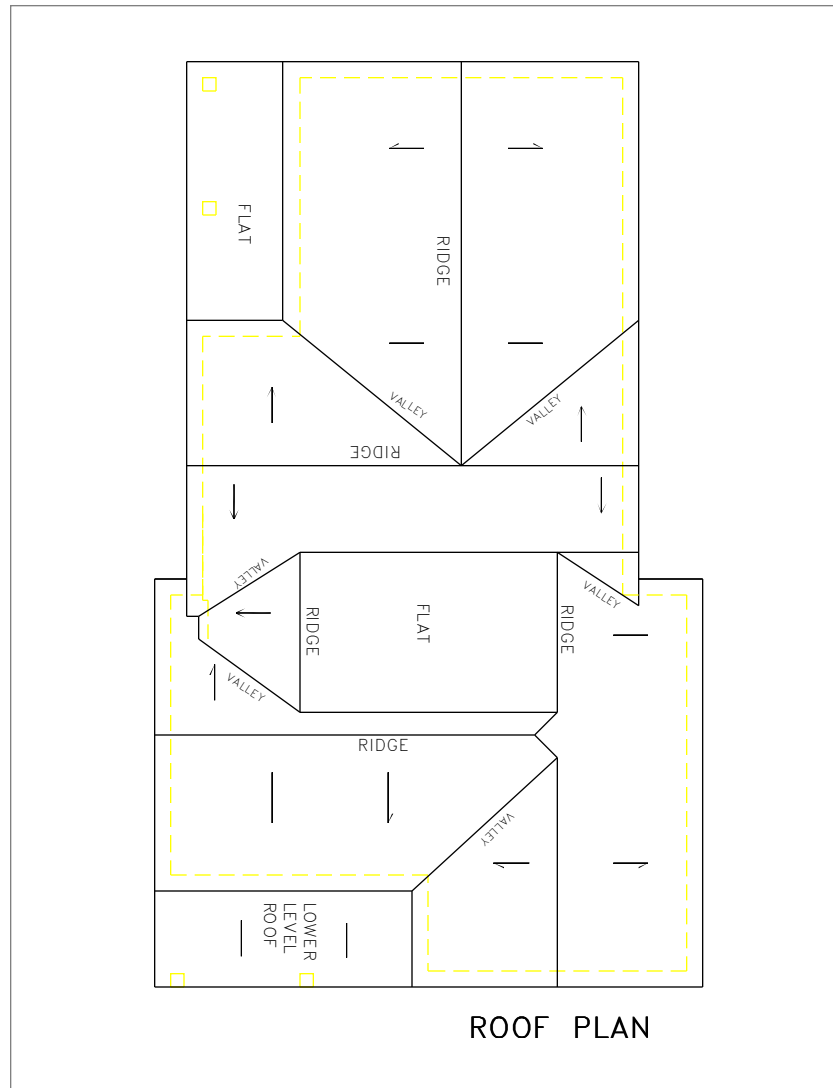


Figure 24. Proposed roof plan.

Exterior Restoration and Addition

The exterior masonry of the existing house will require extensive repair. (See Figures 10-13, and Supplemental Photograph in the Addenda.) In addition, the later and unsympathetic sunroom addition will be removed. All of the brick behind was removed when it was constructed. This brickwork will have to be replaced (about 1000 bricks), and a front wall dormer will be constructed. We propose to use brick removed from the existing rear wall where the addition abuts it to provide the material for repair and replacement of missing wall. The elevations of the proposed project are shown in Figures 25 through 28.

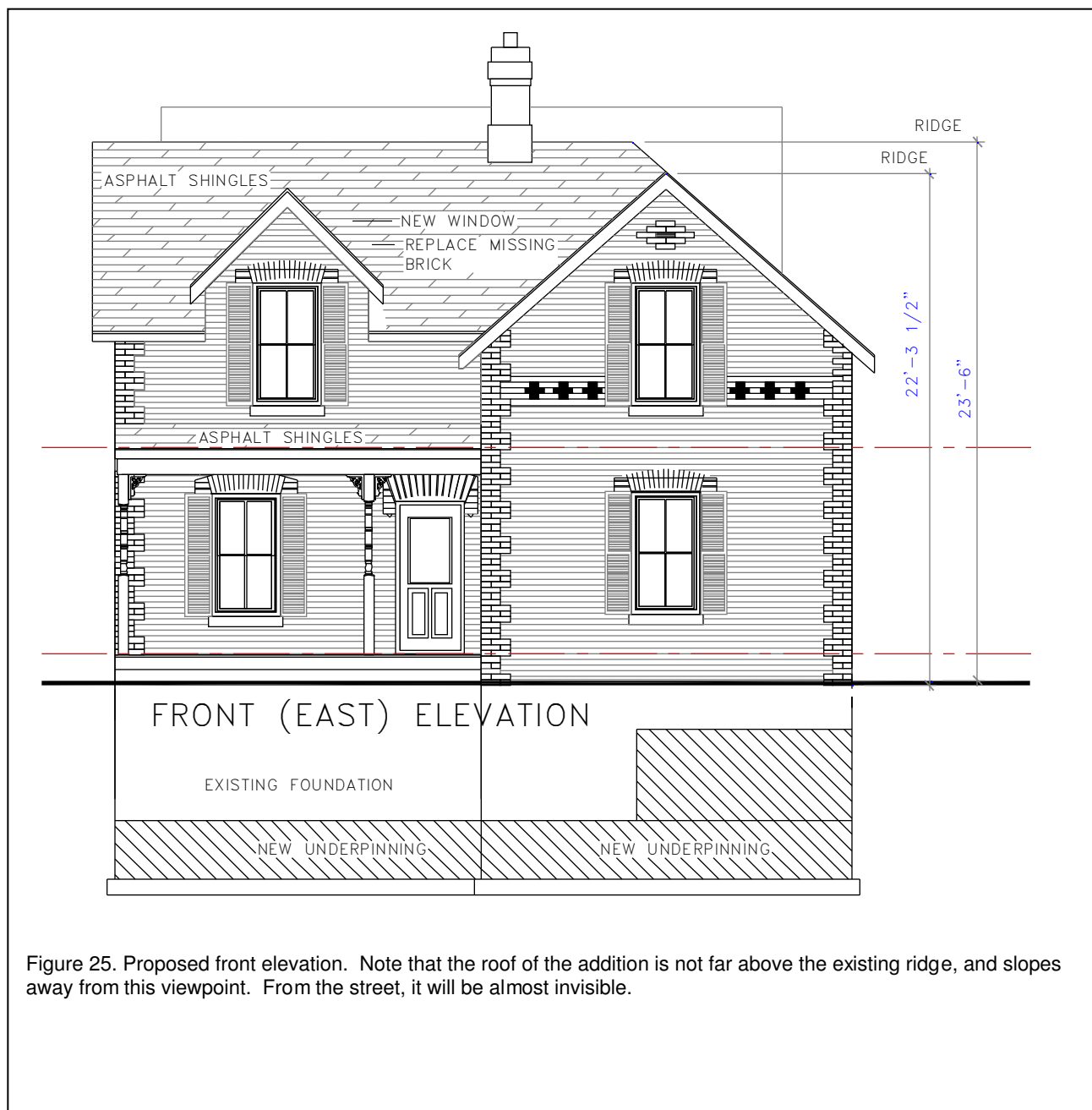


Figure 25. Proposed front elevation. Note that the roof of the addition is not far above the existing ridge, and slopes away from this viewpoint. From the street, it will be almost invisible.

Exterior Restoration and Addition, continued

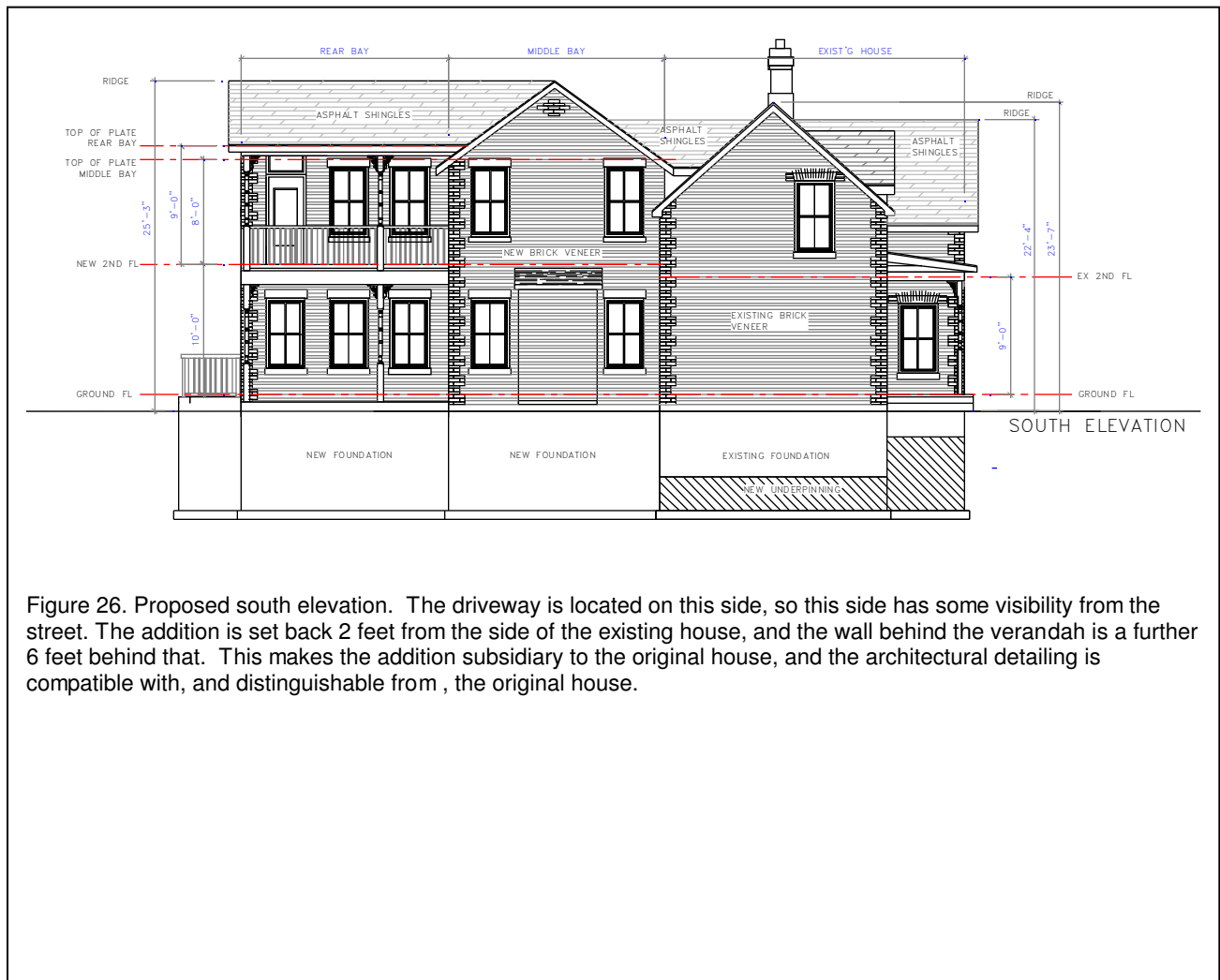


Figure 26. Proposed south elevation. The driveway is located on this side, so this side has some visibility from the street. The addition is set back 2 feet from the side of the existing house, and the wall behind the verandah is a further 6 feet behind that. This makes the addition subsidiary to the original house, and the architectural detailing is compatible with, and distinguishable from, the original house.

Exterior Restoration and Addition, continued

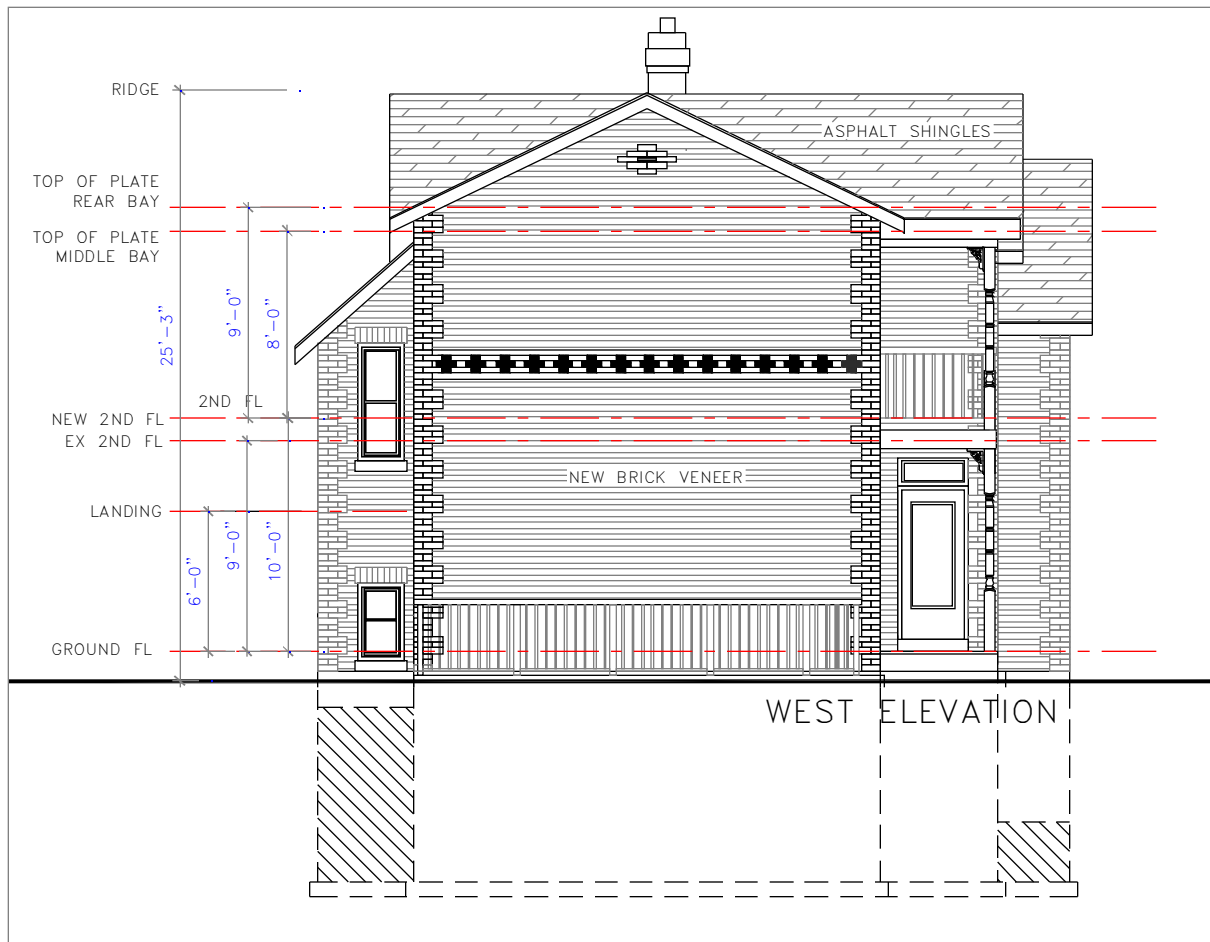
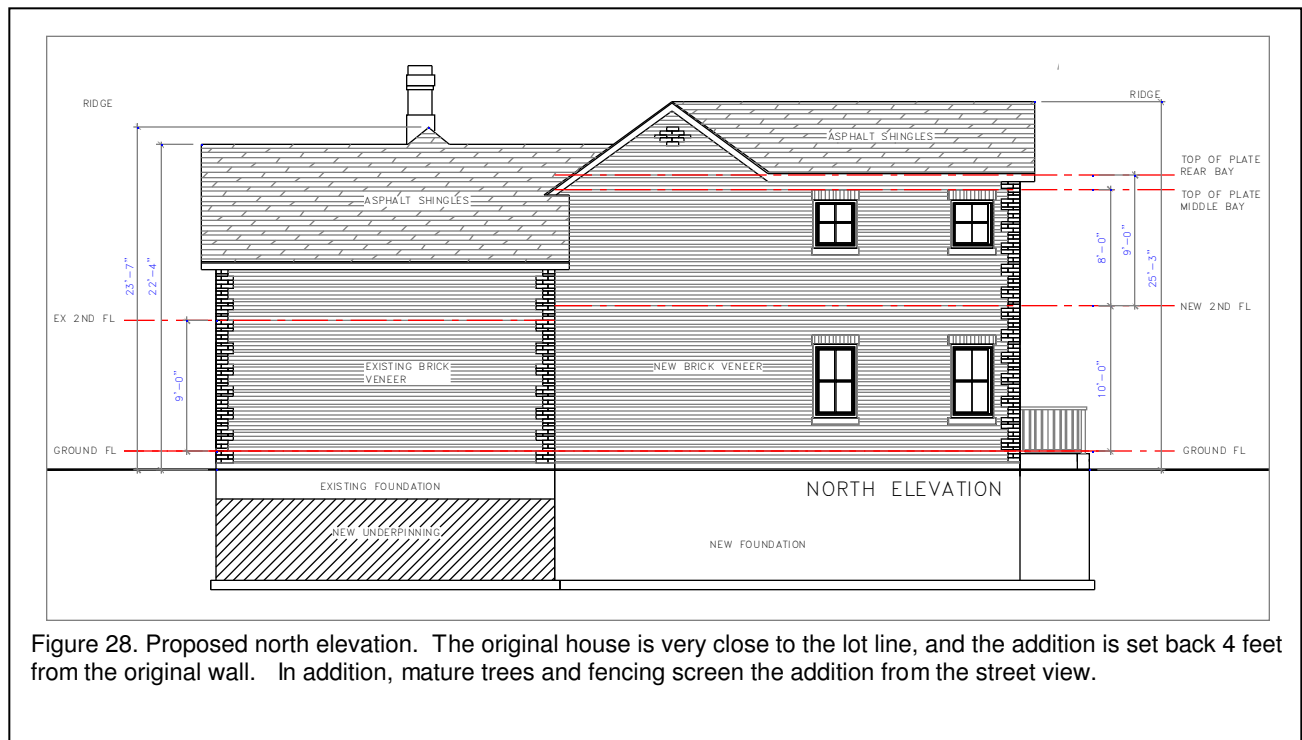


Figure 27. Proposed west (rear) elevation. This elevation is not visible from the street.

Exterior Restoration and Addition, continued



6. Heritage Evaluation

The Original House

The historical evaluation of the property by Su Murdoch Historical Consulting agrees with the evaluation of the house as a “contributing property” in terms of the Woodbridge Heritage District Plan. The Murdoch report does not suggest that the house has sufficient value to be designated under Part IV of the Ontario Heritage Act. We concur, and also note that the structural deficits and damage to the masonry caused by insufficient footing depth have degraded the heritage character of the building to the extent that the proposed intervention should be considered a life-saver.

The proposal will stabilize the structure, will remove the unsympathetic sunporch, and replace it with a porch which replicates the probable style of the original front verandah. The missing brick behind the sunporch will be replaced with existing brick from the rear of the house in order to have well-matched masonry, and a small window installed above the existing ground floor window. New windows, with simulated divided lights with spacer bars, will be provided in the original 2 over 2 design, and the modern replacement front door will be replaced with a new door of a design compatible with the original architecture. The settlement-damaged masonry will be replaced with existing brick and all walls repointed as required. All of this work will result in the visual aspect of the house being to its original form. This is evident in the comparative front elevations shown in Figure 25 on the next page.



Figure 29. Before and after comparison of the street view of the house. The proposal represents a great improvement in the heritage character of the Kipling Avenue streetscape.

The Addition

The purpose of designation of a Heritage Conservation District is preservation of the heritage character of an area. Conserving individual buildings is certainly part of this effort, and this proposal accomplishes that, but it is the District's overall character that Part V designation seeks to conserve. Generally speaking, the focus of the definition of a District's character is the experience of experiencing it from the public realm.

Section 6.2.7 of the Woodbridge Heritage Conservation District is titled "Architectural Guidelines for New Buildings, Additions and Alterations" but that title is the only place where the words "addition" or "alteration" appear in the Section. Nevertheless, we have designed the addition to conform to accepted good practice, as evidenced by the guidelines in other Heritage Conservation Districts in Vaughan, and set it back from both side walls of the original house, to minimize its visibility. In particular, the roofscape of the addition was configured to reduce its presence by having its foremost element slope away from the street.

Section 6.2.7 of the Woodbridge Heritage Conservation District plan exempts from review "any alteration that is not visible from the street or any other public space." The proposed rear addition approaches that threshold, with the only view being an oblique one, down the driveway.

7. Conclusions

In my professional opinion, this proposal deserves approval. The owner's efforts to structurally stabilize the original house, restore it to its original form, and to devise an addition that minimizes the impact on the public domain should be applauded. It will enhance the heritage character of the Kipling Avenue streetscape and, by creating a modern and liveable home, will ensure the long term survival of this contributing building within the Woodbridge Heritage Conservation District.

8. Bibliography

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Appendices:

- A. Cultural Heritage Value Evaluation
8006 Kipling Avenue, City of Vaughan
by Su Murdoch Historical Consulting**

- B. Heritage Consultant's CV**