

## HERITAGE VAUGHAN REPORT

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**DATE:** Wednesday, May 16, 2018

**WARD(S):** 5

**TITLE: ALTERATION – CABANA, 7994 YONGE STREET, THORNHILL  
HERITAGE CONSERVATION DISTRICT**

**FROM:**

Jason Schmidt-Shoukri, Deputy City Manager, Planning and Growth Management

**ACTION:** DECISION

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**Purpose**

To seek a recommendation from the Heritage Vaughan Committee for alterations to a previously approved cabana structure located at 7994 Street (the “Thornhill Golf and Country Club”), a property located in the Thornhill Heritage Conservation District (“THCD”) and designated under Part V of the *Ontario Heritage Act*.

**Report Highlights**

- The Applicant had previously received approval to erect a cabana within the grounds of the Thornhill Golf and Country Club
- The Applicant wishes to alter the approved size and design of the cabana, and these changes must be reviewed by the Heritage Vaughan Committee
- The proposal is consistent with the relevant policies of the Thornhill Heritage Conservation District Plan.

**Recommendations**

1. THAT Heritage Vaughan recommend approval for the proposed alterations at 7994 Yonge Street under Section 42 of *Ontario Heritage Act*, subject to following conditions:

- a) Any significant changes to the proposal by the Applicant, may require reconsideration by the Heritage Vaughan Committee, which shall be determined at the discretion of the Director of Development Planning and Manager of Urban Design and Cultural Heritage;
- b) That Heritage Vaughan Committee recommendations to Council do not constitute specific support for any Development Application under the *Ontario Planning Act* or permits or requirements currently under review or to be submitted in the future by the Applicant as it relates to the subject application.

## **Background**

The Thornhill Golf and Country Club is located on the west side of Yonge Street, north of Centre Street, in the Thornhill Heritage Conservation District ("THCD"), as shown on Attachment #1. The subject property extends 1.5 kilometres west of Yonge Street and the cabana is located on the north portion of the site, adjacent to the Holy Trinity Anglican Church and Cemetery.

## **Previous Reports/Authority**

The Heritage Vaughan Committee on February 15, 2017, recommended that Council approve The Thornhill Golf and Country Club's application for a proposed new cabana construction at 7994 Yonge Street under Section 42 of the *Ontario Heritage Act*. Vaughan Council approved the new construction (Item 21, Report No. 10), of the Committee of the Whole. The design and site plan of the approved cabana is shown on Attachment #2.

## **Analysis and Options**

### **Proposed Alterations**

The Applicant proposes to alter the previously approved cabana design to accommodate the following changes:

- i. Extend the length of the Cabana building from 12.7m to 16.2m, an increase of 21.6%;
- ii. Alter the design of the structure of the cabana to include an open porch and a proposed open kitchen space;
- iii. Reduce the length of the outdoor covered seating area from 7.62m to be 6.7m (92 cm shorter); and
- iv. Reconfigure a retaining wall to allow for walkway.

The overall design of the cabana building is to remain in the ranch style with a flat roof that relates to the modernist main clubhouse that was originally approved. No existing trees will be removed.

Based on the above analysis, the proposed cabana remains in conformity with the policies of the THCD Plan.

### Timeline

This application is subject to the 90 day review under the *Ontario Heritage Act*. This application was declared complete on March 20, 2018, and must be deliberated upon by June 18, 2018, to meet the 90 day timeline.

### **Financial Impact**

There are no requirements for new funding associated with this report.

### **Broader Regional Impacts/Considerations**

There are no broader Regional impacts or considerations.

### **Conclusion**

The Urban Design and Cultural Heritage Division has reviewed the application to permit changes to a previously approved cabana for The Thornhill Golf and Country Club. Staff is satisfied that the proposed alterations to the previously approved cabana as discussed in the report are consistent with the Thornhill Heritage Conservation District Plan. Accordingly, the Urban Design and Cultural Heritage Division of the Development Planning Department can support the approval of the proposed alterations, under Section 42 of the *Ontario Heritage Act*.

**For more information**, please contact: Katrina Guy, Cultural Heritage Coordinator, ext. 8115.

### **Attachments**

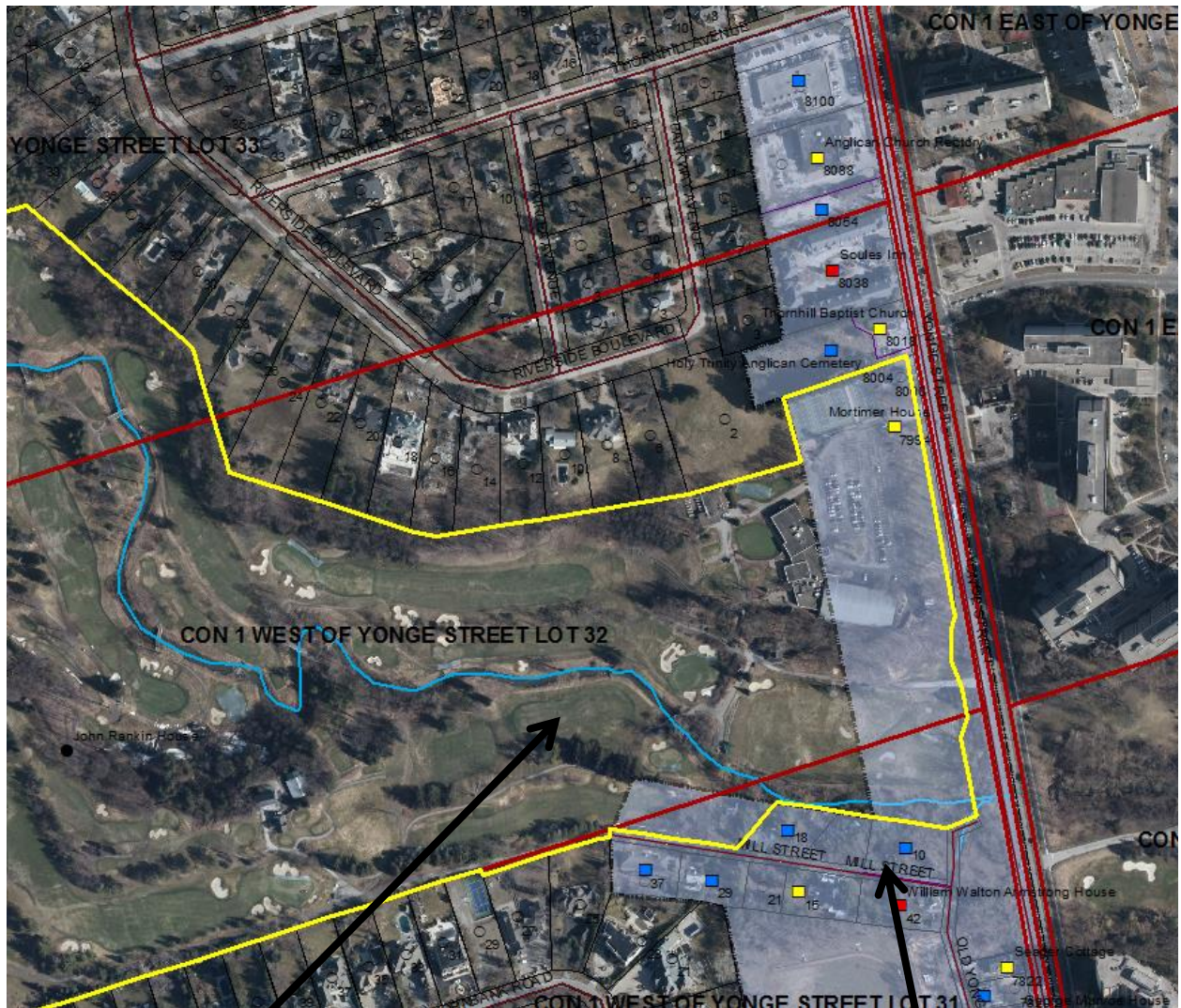
1. Location Map
2. Proposed Site Plan drawings
3. Proposed Elevation Drawings
4. Previously Approved Site Plan and Elevations

### **Prepared by**

Katrina Guy, Cultural Heritage Coordinator, ext. 8813

/CM

Location Map



Subject Property (outlined in yellow)

Thornhill Heritage Conservation District (shaded blue)



Site Map

Church and Cemetery

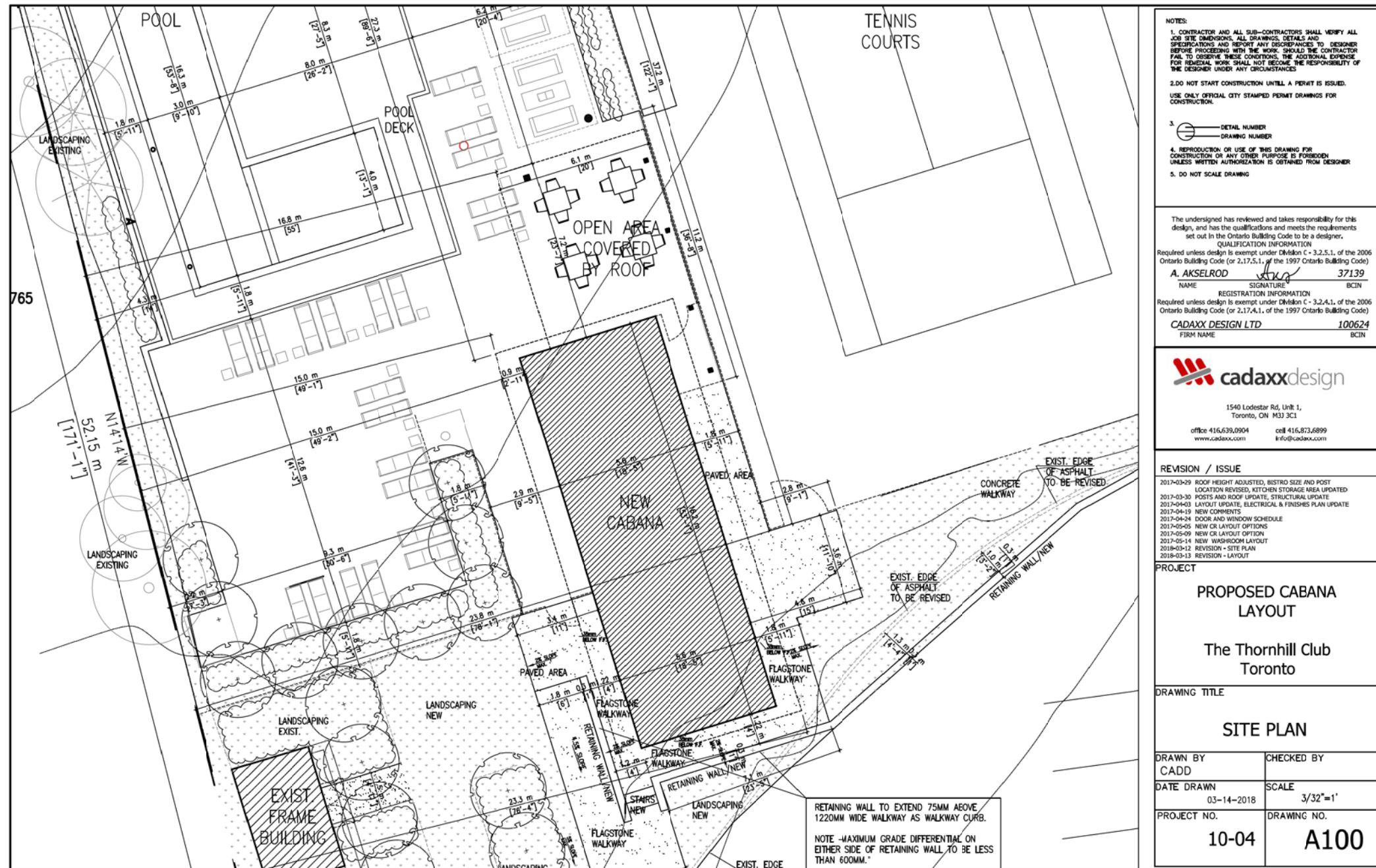
Mortimer House



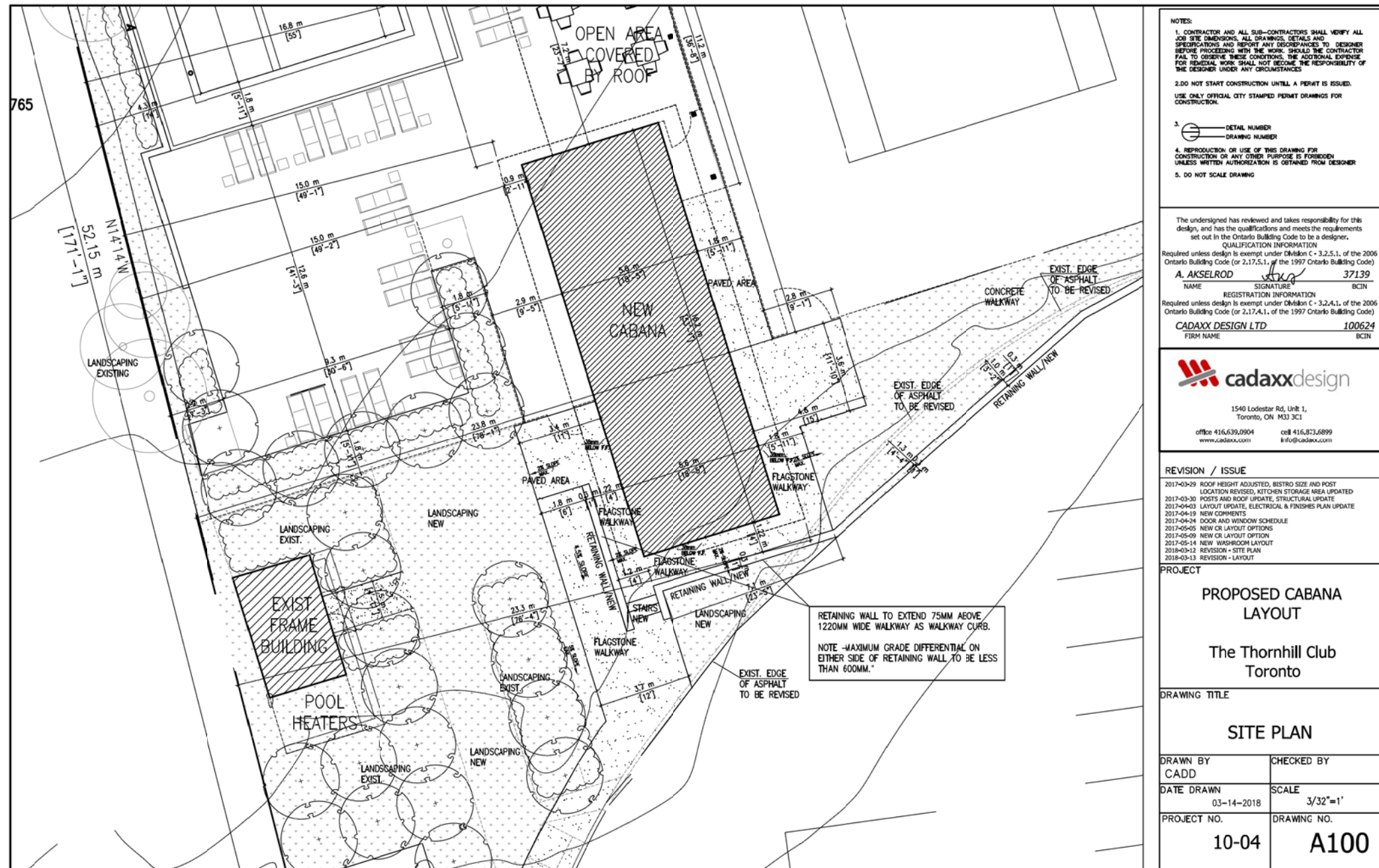
Clubhouse

Proposed Cabana Location

# Attachment 2 a) Proposed Site Plan showing location of cabana to tennis courts and pool








# Attachment 2 c) Proposed Site Plan showing cabana in context to parking lot



- NOTES:
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  2. DO NOT START CONSTRUCTION UNTIL A PERMIT IS ISSUED. USE ONLY OFFICIAL CITY STAMPED PERMIT DRAWINGS FOR CONSTRUCTION.
  3.  ———— DETAIL NUMBER  
————— DRAWING NUMBER
  4. REPRODUCTION OR USE OF THIS DRAWING FOR CONSTRUCTION OR ANY OTHER PURPOSE IS FORBIDDEN UNLESS WRITTEN AUTHORIZATION IS OBTAINED FROM DESIGNER.
  5. DO NOT SCALE DRAWING

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C - 3.2.5.1. of the 2006 Ontario Building Code (or 2.17.5.1. of the 1997 Ontario Building Code)

A. AKSELRÖD  37139  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
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REVISION / ISSUE
2017-03-29 ROOF HEIGHT ADJUSTED, BISTRO SIZE AND POST LOCATION REVISED, KITCHEN STORAGE AREA UPDATED
2017-03-30 POSTS AND ROOF UPDATE, STRUCTURAL UPDATE
2017-04-03 LAYOUT UPDATE, ELECTRICAL & FINISHES PLAN UPDATE
2017-04-19 NEW COMMENTS
2017-04-24 DOOR AND WINDOW SCHEDULE
2017-05-05 NEW OR LAYOUT OPTIONS
2017-05-09 NEW OR LAYOUT OPTION
2017-05-14 NEW WASHROOM LAYOUT
2018-03-12 REVISION - SITE PLAN
2018-03-13 REVISION - LAYOUT

PROJECT

**PROPOSED CABANA LAYOUT**

**The Thornhill Club Toronto**

DRAWING TITLE

**SITE PLAN**

DRAWN BY CADD	CHECKED BY
DATE DRAWN 03-14-2018	SCALE 1/32"=1'
PROJECT NO. 10-04	DRAWING NO. A100



## ASSEMBLY LEGEND

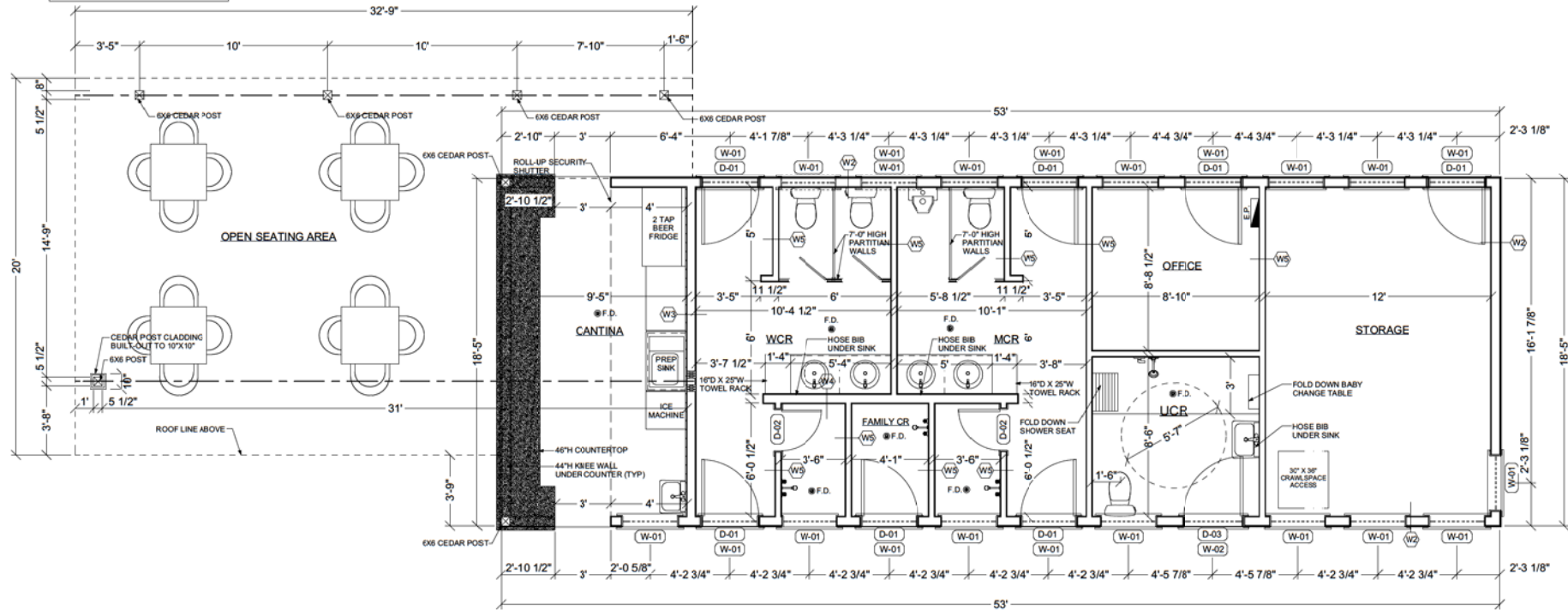
- (W1) FOUNDATION WALL  
DRAINAGE MATT  
DAMP PROOFING MATERIAL  
8" 15 MPa POURED CONC. WALL
- (W2) 2 X 6 EXTERIOR FRAMED WALL  
HARDIE PANEL SIDING BELOW W/ COMPOSITE WOOD SIDING ABOVE PER ELEVATIONS  
1/2" STRAPPING  
AIR BARRIER  
7/16" OSB SHEATHING  
2 X 6 STUDS @ 16" O.C.  
R24 BATT INSUL.  
1/2" DRYWALL
- (W3) 2 X 6 EXTERIOR CANTINA FRAMED WALL  
TILE BELOW W/ COMPOSITE WOOD SIDING ABOVE PER ELEVATIONS  
1/2" PLYWOOD  
AIR BARRIER  
7/16" OSB SHEATHING  
2 X 6 STUDS @ 16" O.C.  
R24 BATT INSUL.  
1/2" DRYWALL
- (W4) 2 X 6 INTERIOR FRAMED PARTITION WALL  
2 X 6 STUDS @ 16" O.C.  
1/2" DRYWALL BOTH SIDES
- (W5) 2 X 4 INTERIOR FRAMED PARTITION WALL  
2 X 4 STUDS @ 16" O.C.  
1/2" DRYWALL BOTH SIDES
- (F1) CRAWLSPACE FLOOR  
3" 25 MPa POURED CONC.  
6" COMPACTED GRANULAR  
6" CLEAR STONE
- (F2) FRAMED FLOOR CONSTRUCTION  
FINISH FLOOR MATERIAL  
5/8" T&G PLYWOOD SUBFLOOR  
11 7/8" TJI 230 @ 16" O.C.  
R31 BATT INSUL.
- (F3) CANTINA FLOOR CONSTRUCTION  
FINISH FLOOR MATERIAL  
5/8" T&G PLYWOOD SUBFLOOR  
11 7/8" TJI 230 @ 16" O.C.
- (R1) RAFTER ROOF CONSTRUCTION  
EPDM ROOFING MEMBRANE  
ICE BARRIER PROTECTION TO 36" FROM EAVES  
5/8" T&G PLYWOOD SHEATHING  
11 7/8" TJI 230 @ 24" O.C.  
R31 BLOW-IN FIBERGLASS INSUL.  
VAPOUR BARRIER  
1/2" DRYWALL
- (R2) CANTINA RAFTER ROOF CONSTRUCTION  
EPDM ROOFING MEMBRANE  
ICE BARRIER PROTECTION TO 36" FROM EAVES  
5/8" T&G PLYWOOD SHEATHING  
11 7/8" TJI 230 @ 24" O.C.  
ALUM SOFFIT CEILING
- (R3) OPEN AREA RAFTER ROOF CONSTRUCTION  
EPDM ROOFING MEMBRANE  
5/8" T&G PLYWOOD SHEATHING  
DOUBLE 2X10 RAFTERS @ 24" O.C.

PRELIMINARY - NOT FOR CONSTRUCTION

DOOR SCHEDULE						
DOOR	QTY	SIZE	RSO W X H	TYPE	STYLE	
D-01	8	36"	34 X 85	EXTERIOR	SLAB	
D-02	2	26"	28 X 82	INTERIOR	SLAB	
D-03	1	38"	41 X 85	EXTERIOR	SLAB	

WINDOW SCHEDULE						
WINDOW	QTY	GLASS	GRILLS	STYLE	RSO W X H	
W-01	20	CLEAR	NO	AWNING	34 X 15	
W-02	1	CLEAR	NO	AWNING	41 X 15	

NOTE:  
LINE UP EAST BISTRO AREA POSTS DIRECTLY  
RESIDE TENNIS COURT FENCE POSTS.



DC	DESCRIPTION	DATE

PROJECT DESCRIPTION:  
**CABANA LAYOUT**  
The Thornhill Club  
Toronto

DRAWINGS PROVIDED BY:  
**CANADA BUILDS**  
423 HWY 36  
Lindsay, ON K9V4R3  
705-324-8777



DATE:  
2018-03-14

SCALE:  
1/4" = 1'

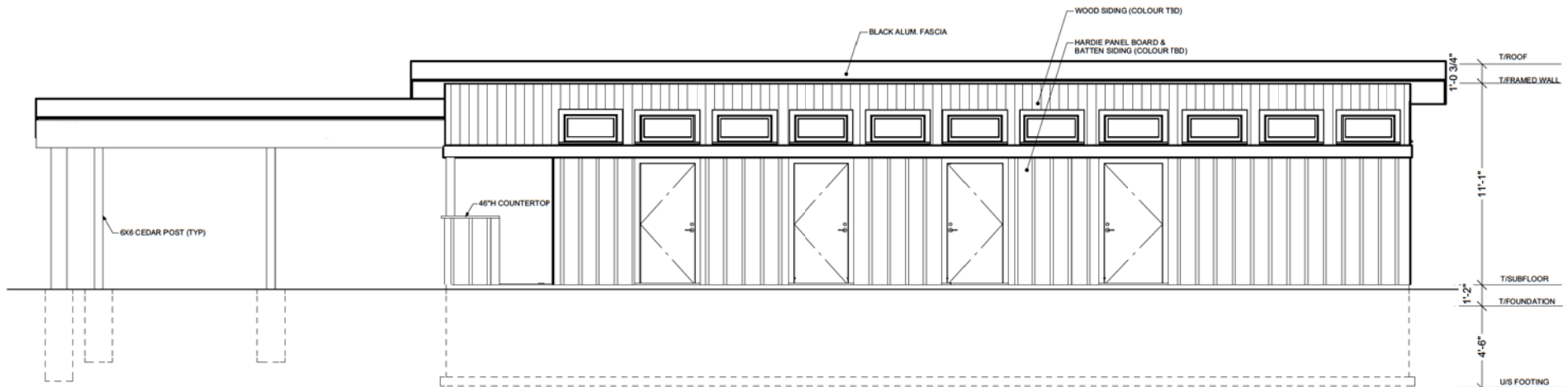
SHEET:

**A-2**

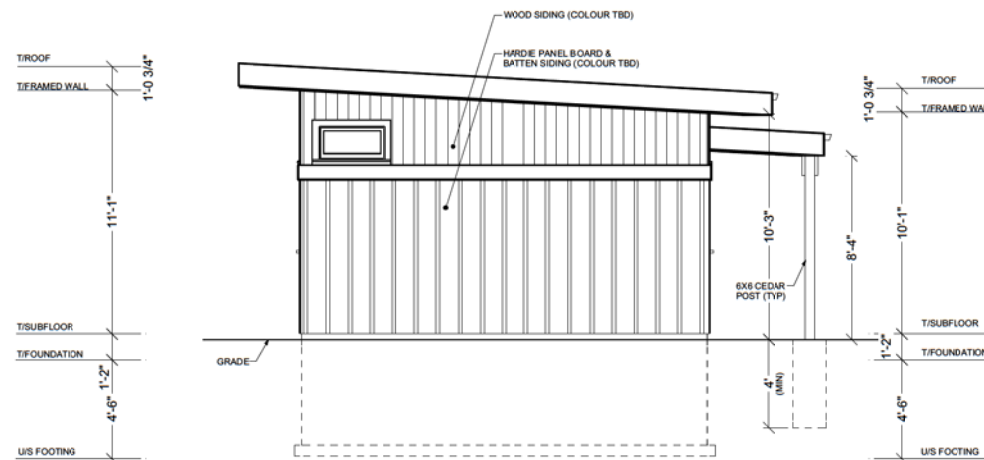
1  
A2

**GROUND FLOOR PLAN**  
1/4" = 1'

PRELIMINARY - NOT FOR CONSTRUCTION



1  
A3 WEST ELEVATION  
1/4" = 1'



2  
A3 SOUTH ELEVATION  
1/4" = 1'

DC DESCRIPTION DATE

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The Thornhill Club  
Toronto

DRAWINGS PROVIDED BY:  
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Lindsay on K9V4R3  
705-324-8777



DATE:

2018-03-14

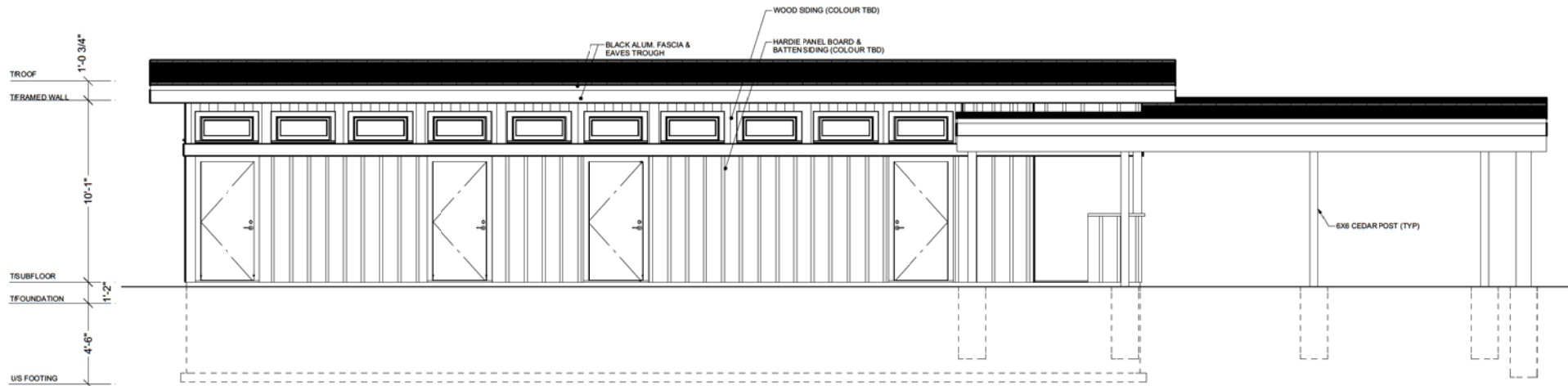
SCALE:

1/4" = 1'

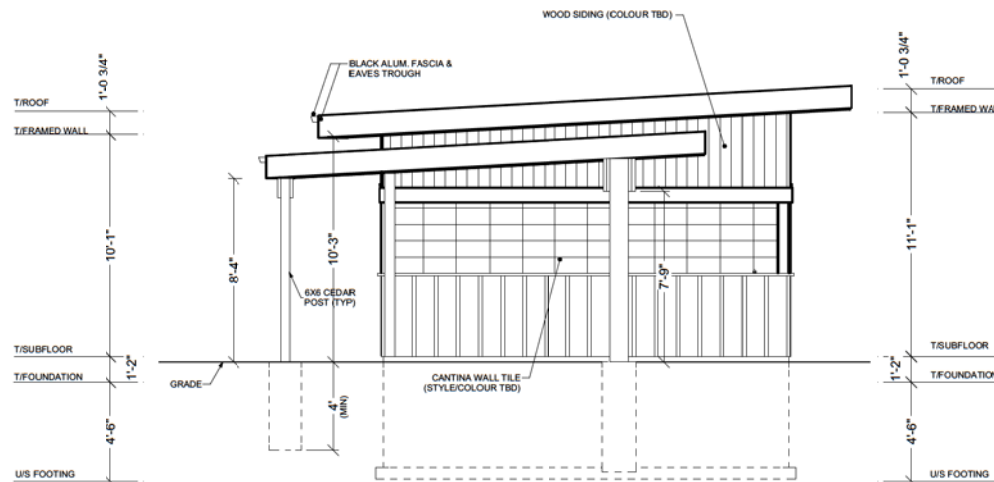
SHEET:

**A-3**

PRELIMINARY - NOT FOR CONSTRUCTION



1  
A3 EAST ELEVATION  
1/4" = 1'



2  
A3 NORTH ELEVATION  
1/4" = 1'

DATE

DC DESCRIPTION

PROJECT DESCRIPTION:  
CABANA LAYOUT  
The Thornhill Club  
TorontoDRAWINGS PROVIDED BY:  
CANADA BUILDS  
423 HWY 36  
Lindsay, ON K9V4R3  
705-324-8777

DATE:

2018-03-14

SCALE:

1/4" = 1'

SHEET:

A-4





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A. AKSELOD *[Signature]* 37139  
NAME SIGNATURE BCIN

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FIRM NAME BCIN



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USE ONLY OFFICIAL CITY STAMPED PERMIT DRAWINGS FOR CONSTRUCTION.

PROJECT:  RENOVATION  The Thornhill Club. Frame building  Yonge Street TORONTO	REVISION / ISSUE	DATE: 29.03.2018	PROJECT NO: 10-04
		SCALE: 1:60,13	DWG. NO:
	DRAWING TITLE: PERSPECTIVE VIEW	DRAWN: A.A.	A700
		CHECKED:	



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
DO NOT START CONSTRUCTION UNTILL A PERMIT IS ISSUED.			NOTE: THE CONTRACTOR SHALL CHECK AND VERIFY DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING ANY WORK	
USE ONLY OFFICIAL CITY STAMPED PERMIT DRAWINGS FOR CONSTRUCTION.			DATE:	PROJECT NO:
PROJECT:  RENOVATION  The Thornhill Club. Frame building  Yonge Street TORONTO			29.03.2018	10-04
			SCALE:	DWG. NO:
			1:60,13	A701
DRAWING TITLE:			DRAWN:	CHECKED:
PERSPECTIVE VIEW			A.A.	



## NOTES:

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## REVISION / ISSUE

2016-12-22 LAYOUT DESIGN  
2016-12-30 LAYOUT AND ELEVATIONS UPDATE  
2017-01-12 CANTINA AREA UPDATE  
2017-01-18 WINDOWS UPDATE

## PROJECT

PROPOSED CABANA  
LAYOUT

The Thornhill Club  
Toronto

## DRAWING TITLE

SITE PLAN

DRAWN BY  
CADD

DATE DRAWN  
01-18-2017

PROJECT NO.  
10-04

CHECKED BY

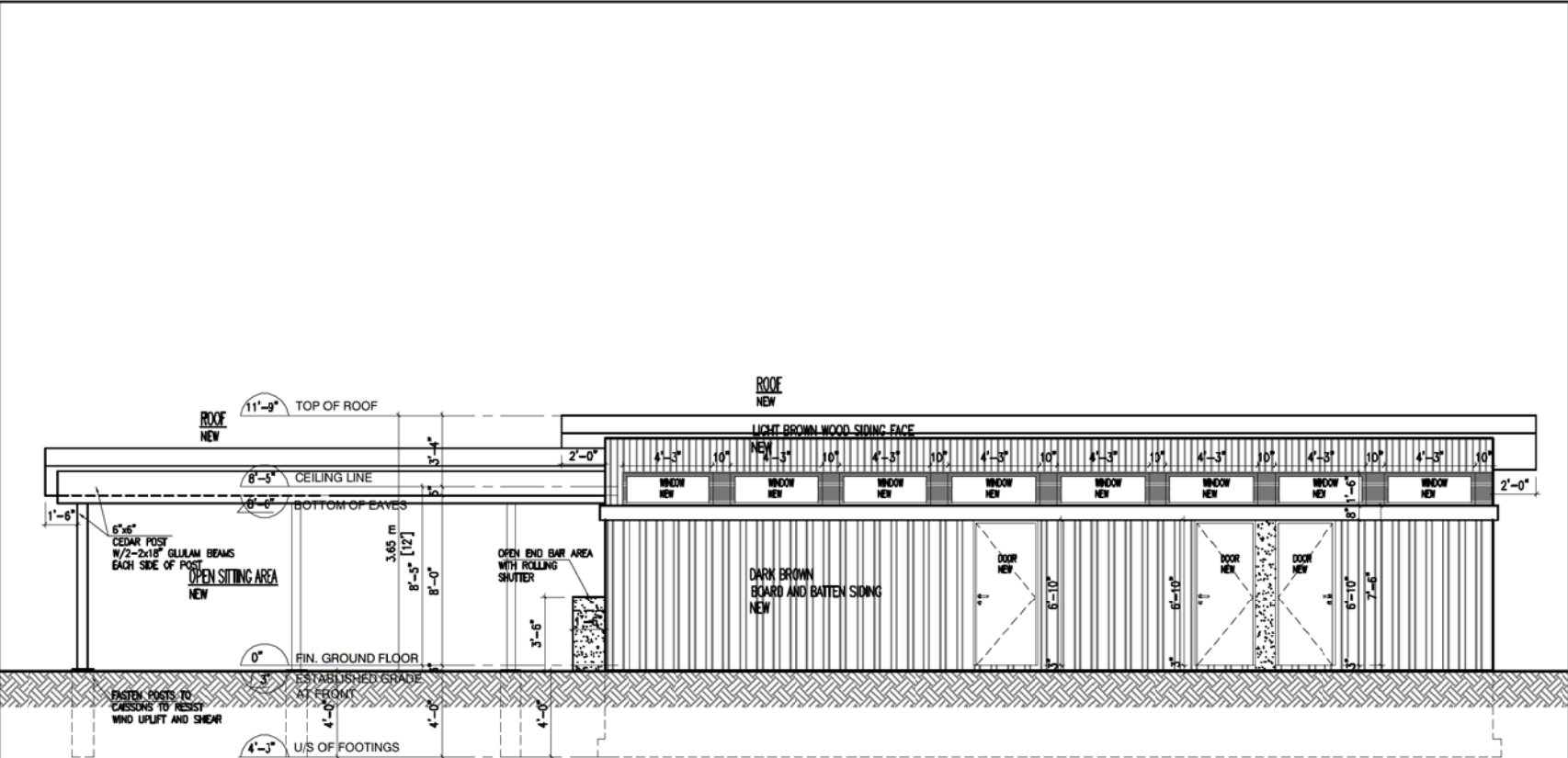
SCALE  
3/32"=1'

DRAWING NO.

A100









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REVISION / ISSUE

2016-12-22 LAYOUT DESIGN  
2016-12-30 LAYOUT AND ELEVATIONS UPDATE  
2017-01-12 CANTINA AREA UPDATE  
2017-01-18 WINDOWS UPDATE

PROJECT

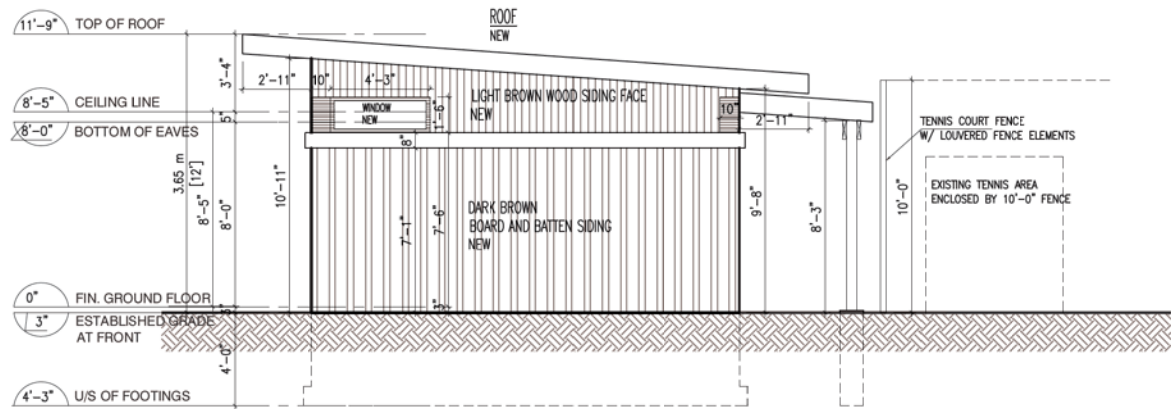
PROPOSED CABANA  
LAYOUT


The Thornhill Club  
Toronto

DRAWING TITLE

WEST ELEVATION

DRAWN BY CADD	CHECKED BY
DATE DRAWN 01-18-2017	SCALE 3/16"=1'
PROJECT NO. 10-04	DRAWING NO. A203



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DRAWING NUMBER
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REVISION / ISSUE	
2016-12-22	LAYOUT DESIGN
2016-12-30	LAYOUT AND ELEVATIONS UPDATE
2017-01-12	CANTINA AREA UPDATE
2017-01-18	WINDOWS UPDATE

PROJECT

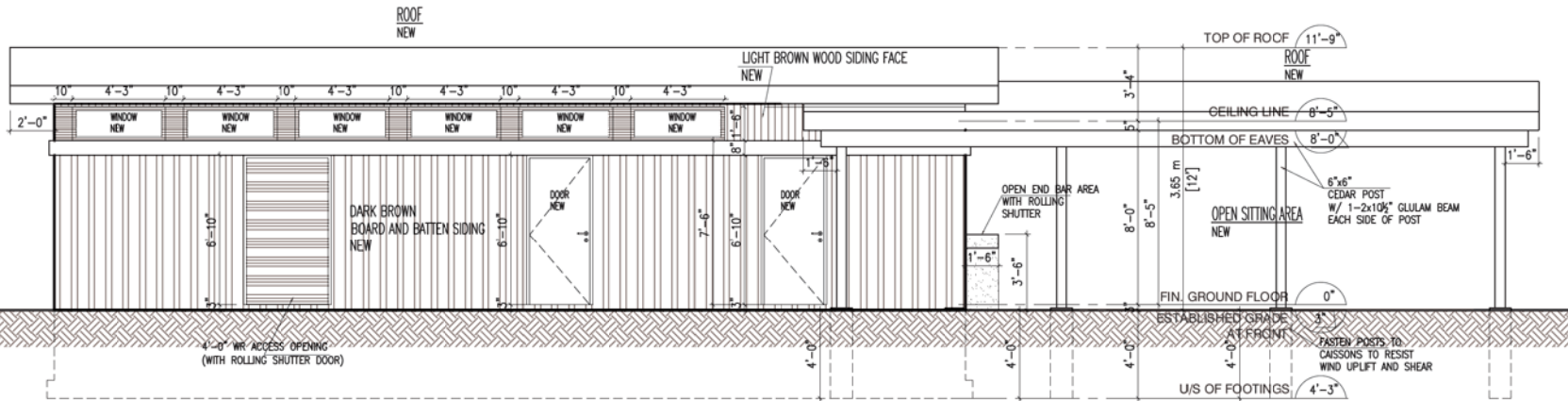
**PROPOSED CABANA  
LAYOUT**



**The Thornhill Club  
Toronto**

DRAWING TITLE

**SOUTH ELEVATION  
W/ TENNIS COURT FENCE**

DRAWN BY CADD	CHECKED BY
DATE DRAWN 01-18-2017	SCALE 3/16"=1'
PROJECT NO. 10-04	DRAWING NO. A204-2



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2017-01-12 CANTINA AREA UPDATE  
2017-01-18 WINDOWS UPDATE

PROJECT

PROPOSED CABANA  
LAYOUT

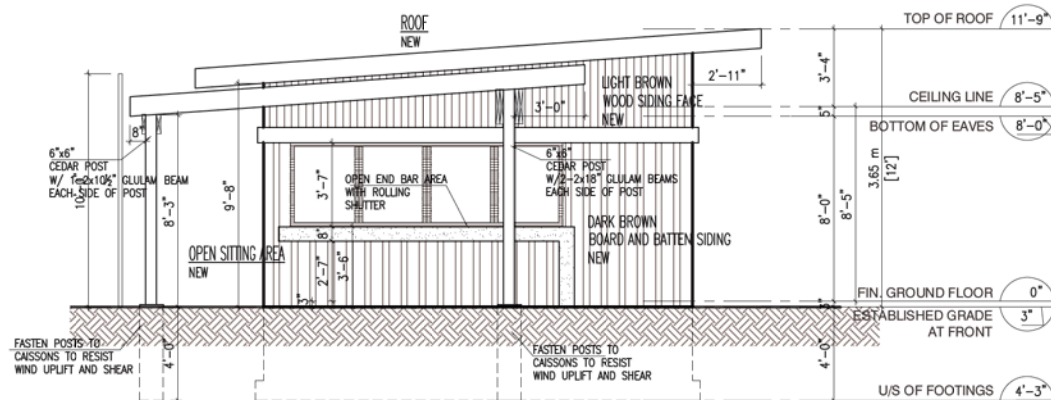
The Thornhill Club  
Toronto

DRAWING TITLE

EAST ELEVATION

DRAWN BY CADD	CHECKED BY
DATE DRAWN 01-18-2017	SCALE 3/16"=1'
PROJECT NO. 10-04	DRAWING NO. A205





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4. REPRODUCTION OR USE OF THIS DRAWING FOR  
CONSTRUCTION OR ANY OTHER PURPOSE IS FORBIDDEN UNLESS  
WRITTEN AUTHORIZATION IS OBTAINED FROM DESIGNER

5. DO NOT SCALE DRAWING

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Required unless design is exempt under Division C - 3.2.5.1. of the 2006 Ontario Building Code (or 2.17.5.1. of the 1997 Ontario Building Code)

A. AKSELROD  37139  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under Division C - 3.2.4.1. of the 2006 Ontario Building Code (or 2.17.4.1. of the 1997 Ontario Building Code)

CADAXX DESIGN LTD	100624
FIRM NAME	BCIN



1540 Lodestar Rd, Unit 1,  
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office 416.639.0904      cell 416.873.6899  
www.cadaxo.com      info@cadaxo.com

REVISION / ISSUE

2016-12-22	LAYOUT DESIGN
2016-12-30	LAYOUT AND ELEVATIONS UPDATE
2017-01-12	CANTINA AREA UPDATE
2017-01-18	WINDOWS UPDATE

PROJECT

### PROPOSED CABANA LAYOUT

The Thornhill Club  
Toronto

DRAWING TITLE
---------------

NORTH ELEVATION

DRAWN BY  
CADD

CHECKED BY
------------

DATE DRAWN	01-18-2017
------------	------------

SCALE  $3/16"=1'$

PROJECT NO. 1004

DRAWING NO.  
**A206**

Attachment 4 f) Previously approved design - colour rendering



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

**QUALIFICATION INFORMATION**  
Required unless design is exempt under Division C - 3.2.5.1. of the 2006 Ontario Building Code (or 2.17.5.1. of the 1997 Ontario Building Code)

**A. AKSELROD** 37139  
NAME SIGNATURE BCIN

**REGISTRATION INFORMATION**  
Required unless design is exempt under Division C - 3.2.4.1. of the 2006 Ontario Building Code (or 2.17.4.1. of the 1997 Ontario Building Code)

**CADAXX DESIGN** 37356  
FIRM NAME BCIN

 **cadaxxdesign**

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DO NOT START CONSTRUCTION UNTILL A PERMIT IS ISSUED.  
USE ONLY OFFICIAL CITY STAMPED PERMIT DRAWINGS FOR CONSTRUCTION.

PROJECT:  
**RENOVATION**  
**The Thornhill Club.**  
**Frame building**  
**Yonge Street TORONTO**

REVISION / ISSUE  
  
  
  
DRAWING TITLE:  
**PERSPECTIVE VIEW**

NOTE: THE CONTRACTOR SHALL CHECK AND VERIFY DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING ANY WORK

DATE: 13.01.2017  
SCALE: 1:60,13  
DRAWN: A.A.  
CHECKED:  
PROJECT NO: 10-04  
DWG NO: A700