

HERITAGE VAUGHAN REPORT

DATE: Wednesday, April 18, 2018

WARD(S): 5

**TITLE: ALTERATION – CABANA, 7994 YONGE STREET, THORNHILL
HERITAGE CONSERVATION DISTRICT**

FROM:

Jason Schmidt-Shoukri, Deputy City Manager, Planning and Growth Management

ACTION: DECISION

Purpose

To seek a recommendation from the Heritage Vaughan Committee for alterations to a previously approved cabana structure located at 7994 Street (the “Thornhill Golf and Country Club”), a property located in the Thornhill Heritage Conservation District (“THCD”) and designated under Part V of the *Ontario Heritage Act*.

Report Highlights

- The Applicant had previously received approval to erect a cabana within the grounds of the Thornhill Golf and Country Club
- The Applicant wishes to alter the approved size and design of the cabana, and these changes must be reviewed by the Heritage Vaughan Committee
- The proposal is consistent with the relevant policies of the Thornhill Heritage Conservation District Plan.

Recommendations

1. THAT Heritage Vaughan recommend approval for the proposed alterations at 7994 Yonge Street under Section 42 of *Ontario Heritage Act*, subject to following conditions:

- a) Any significant changes to the proposal by the Applicant, may require reconsideration by the Heritage Vaughan Committee, which shall be determined at the discretion of the Director of Development Planning and Manager of Urban Design and Cultural Heritage;
- b) That Heritage Vaughan Committee recommendations to Council do not constitute specific support for any Development Application under the *Ontario Planning Act* or permits or requirements currently under review or to be submitted in the future by the Applicant as it relates to the subject application.

Background

The Thornhill Golf and Country Club is located on the west side of Yonge Street, north of Centre Street, in the Thornhill Heritage Conservation District ("THCD"), as shown on Attachment #1. The subject property extends 1.5 kilometres west of Yonge Street and the cabana is located on the north portion of the site, adjacent to the Holy Trinity Anglican Church and Cemetery.

Previous Reports/Authority

The Heritage Vaughan Committee on February 15, 2017, recommended that Council approve The Thornhill Golf and Country Club's application for a proposed new cabana construction at 7994 Yonge Street under Section 42 of the *Ontario Heritage Act*. Vaughan Council approved the new construction (Item 21, Report No. 10), of the Committee of the Whole. The design and site plan of the approved cabana is shown on Attachment #2.

Analysis and Options

Proposed Alterations

The Applicant proposes to alter the previously approved cabana design to accommodate the following changes:

- i. Extend the length of the Cabana building from 12.7m to 16.2m, an increase of 21.6%;
- ii. Alter the design of the structure of the cabana to include an open porch and a proposed open kitchen space;
- iii. Reduce the length of the outdoor covered seating area from 7.62m to be 6.7m (92 cm shorter); and
- iv. Reconfigure a retaining wall to allow for walkway.

The overall design of the cabana building is to remain in the ranch style with a flat roof that relates to the modernist main clubhouse that was originally approved. No existing trees will be removed.

Based on the above analysis, the proposed cabana remains in conformity with the policies of the THCD Plan.

Timeline

This application is subject to the 90 day review under the *Ontario Heritage Act*. This application was declared complete on March 20, 2018, and must be deliberated upon by June 18, 2018, to meet the 90 day timeline.

Financial Impact

There are no requirements for new funding associated with this report.

Broader Regional Impacts/Considerations

There are no broader Regional impacts or considerations.

Conclusion

The Urban Design and Cultural Heritage Division has reviewed the application to permit changes to a previously approved cabana for The Thornhill Golf and Country Club. Staff is satisfied that the proposed alterations to the previously approved cabana as discussed in the report are consistent with the Thornhill Heritage Conservation District Plan. Accordingly, the Urban Design and Cultural Heritage Division of the Development Planning Department can support the approval of the proposed alterations, under Section 42 of the *Ontario Heritage Act*.

For more information, please contact: Katrina Guy, Cultural Heritage Coordinator, ext. 8115.

Attachments

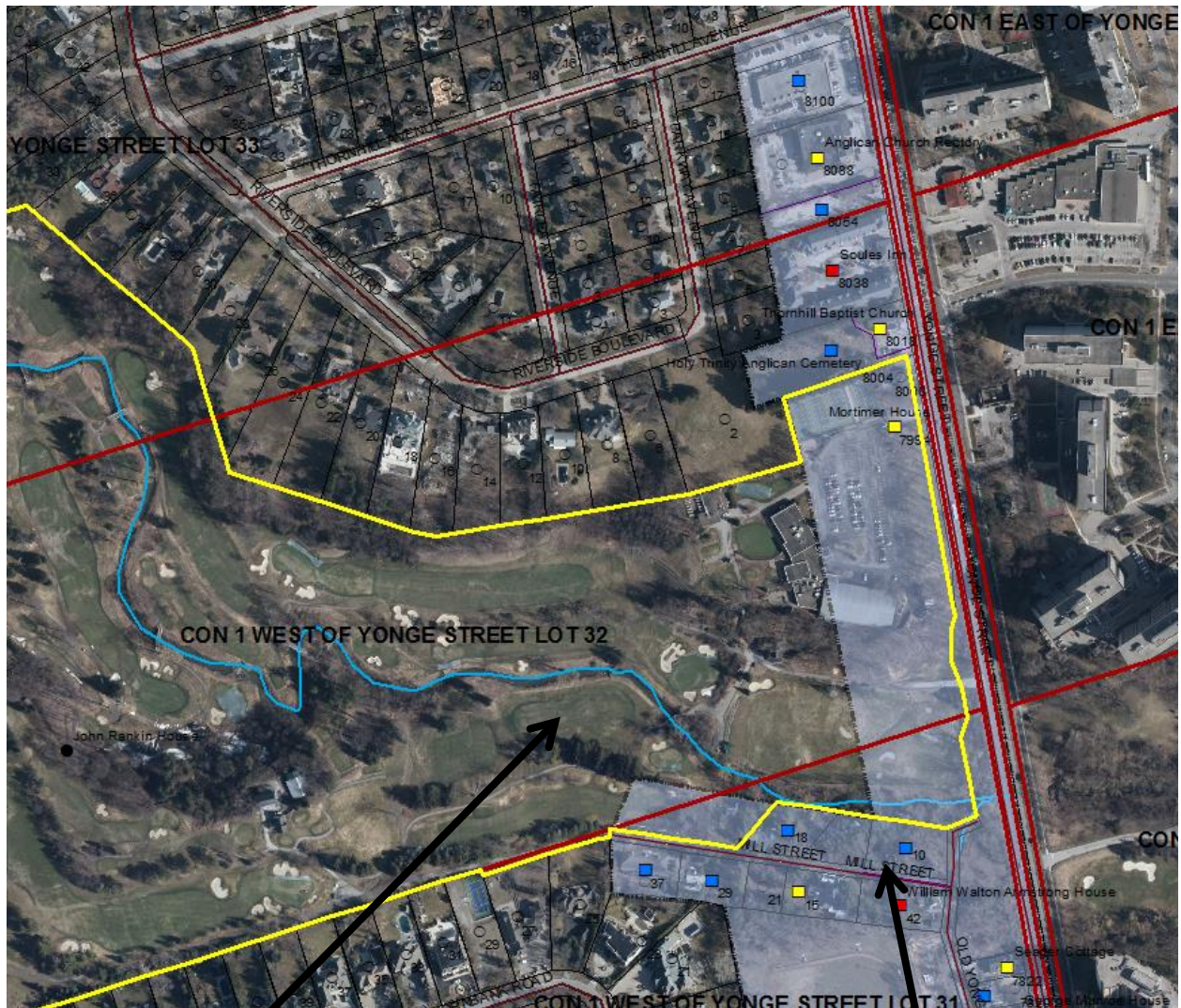
1. Location Map
2. Proposed Site Plan drawings
3. Proposed Elevation Drawings
4. Previously Approved Site Plan and Elevations

Prepared by

Katrina Guy, Cultural Heritage Coordinator, ext. 8813

/CM

Location Map



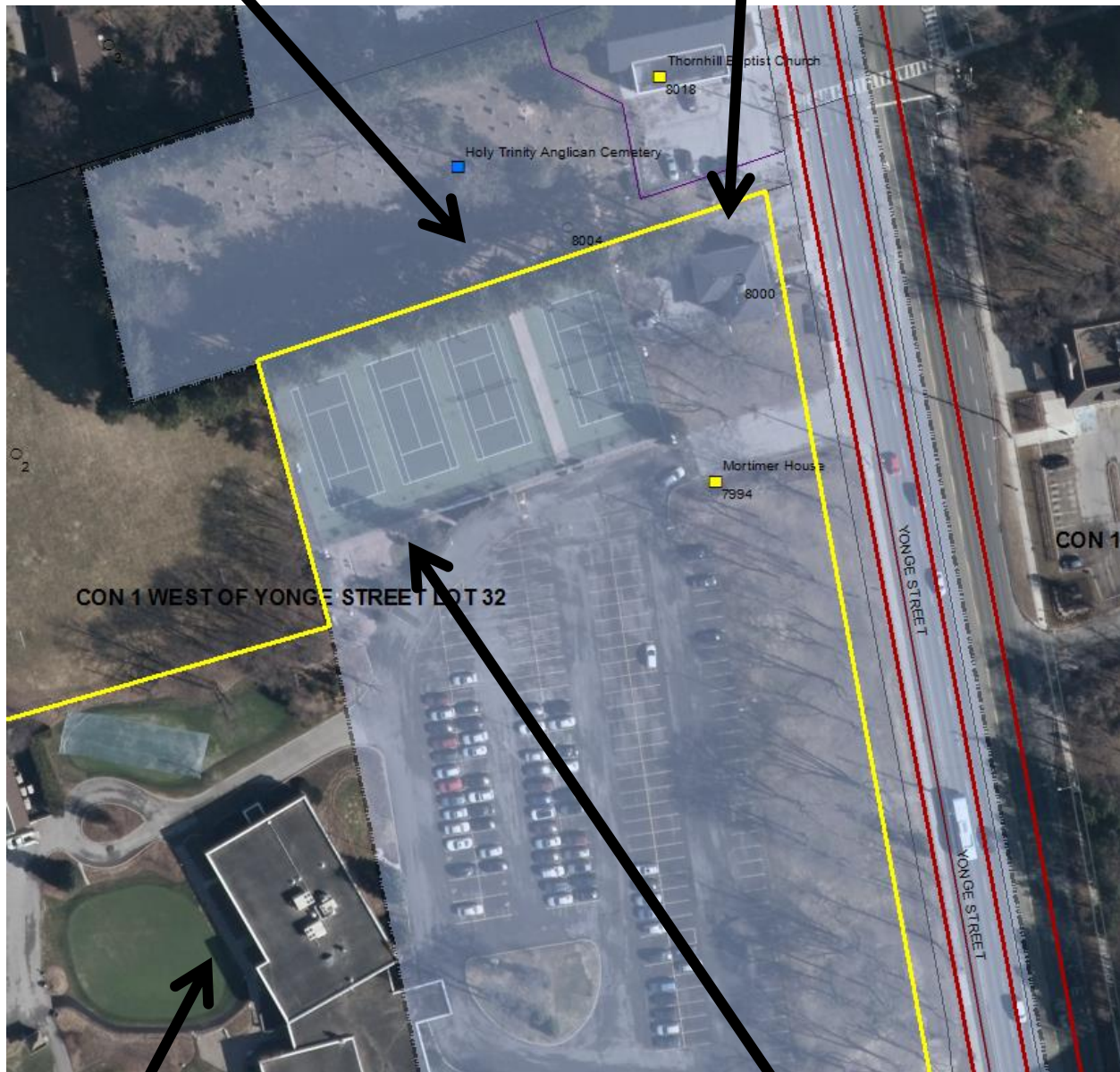
Subject Property (outlined in yellow)

Thornhill Heritage Conservation District (shaded blue)

Site Map

Church and Cemetery

Mortimer House

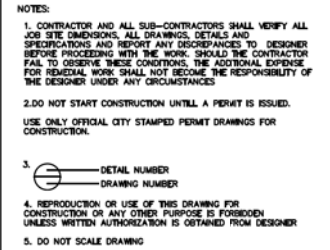


Clubhouse

Proposed Cabana Location


Attachment 2 a) Proposed Site Plan showing location of cabana to tennis courts and pool





The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Required unless design is exempt under Division C - 3.2.5.1. of the 2006 Ontario Building Code (or 2.17.5.1. of the 1997 Ontario Building Code)

A. AKSELROD		37139
NAME	SIGNATURE	DCIN

NAME SIGNATURE BCIN

REGISTRATION INFORMATION

Required unless design is exempt under Division C - 3.2.4.1. of the 2006

Ontario Building Code (or 2.17.4.1. of the 1997 Ontario Building Code)



1540 Lodestar Rd, Unit 1,
Toronto, ON M3J 3C1

office 416.639.0904 cell 416.873.6899
www.cadaox.com info@cadaox.com

REVISION / ISSUE

2017-03-29	ROOF HEIGHT ADJUSTED, BISTRO SIZE AND POST LOCATION REVISED, KITCHEN STORAGE AREA UPDATED
2017-03-30	POSTS AND ROOF UPDATE, STRUCTURAL UPDATE
2017-04-03	LAYOUT UPDATE, ELECTRICAL & FINISHES PLAN UPDATE
2017-04-19	NEW COMMENTS
2017-04-24	DOOR AND WINDOW SCHEDULE
2017-05-05	NEW CR LAYOUT OPTIONS
2017-05-09	NEW CR LAYOUT OPTION
2017-05-14	NEW WASHROOM LAYOUT
2018-03-12	REVISION - SITE PLAN
2018-03-13	REVISION - LAYOUT

PROJECT

PROPOSED CABANA
LAYOUT

The Thornhill Club
Toronto

DRAWING TITLE

SITE PLAN

DRAWN BY CADD	CHECKED BY
------------------	------------

DATE DRAWN	SCALE
03-14-2018	3/32"=1'

PROJECT NO.	DRAWING NO.
10-04	A100

RETAINING WALL TO EXTEND 75MM ABOVE
1220MM WIDE WALKWAY AS WALKWAY CURB.

NOTE -MAXIMUM GRADE DIFFERENTIAL ON
EITHER SIDE OF RETAINING WALL TO BE LESS
THAN 600MM.*

Attachment 2 c) Proposed Site Plan showing cabana in context to parking lot



1. CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VERIFY ALL JOB SITE DIMENSIONS, ALL DRAWINGS, DETAILS AND SPECIFICATIONS AND REPORT ANY DISCREPANCIES TO DESIGNER BEFORE PROCEEDING WITH THE WORK. SHOULD THE CONTRACTOR FAIL TO OBSERVE THESE CONDITIONS, THE ADDITIONAL EXPENSE FOR REMEDIAL WORK SHALL NOT BECOME THE RESPONSIBILITY OF THE DESIGNER UNDER ANY CIRCUMSTANCES.

2. DO NOT START CONSTRUCTION UNTILL A PERMIT IS ISSUED.

USE ONLY OFFICIAL CITY STAMPED PERMIT DRAWINGS FOR CONSTRUCTION.


3.  DETAIL NUMBER
DRAWING NUMBER

4. REPRODUCTION OR USE OF THIS DRAWING FOR CONSTRUCTION OR ANY OTHER PURPOSE IS FORBIDDEN UNLESS WRITTEN AUTHORIZATION IS OBTAINED FROM DESIGNER

5. DO NOT SCALE DRAWING

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C - 3.2.5.1. of the 2006 Ontario Building Code (or 2.17.5.1. of the 1997 Ontario Building Code)

A. AKSELROD		37139
NAME	SIGNATURE	BCIN

NAME _____ SIGNATURE _____ ECIN _____

REGISTRATION INFORMATION

Required unless design is exempt under Division C - 3.2.4.1. of the 2006 Ontario Building Code (or 2.17.4.1. of the 1997 Ontario Building Code)

CADAXX DESIGN LTD	100624
FIRM NAME	BCIN



1540 Lodestar Rd, Unit 1,
Toronto, ON M3J 3C1

office 416.639.0904 cell 416.873.6899
www.cadaox.com info@cadaox.com

REVISION / ISSUE

2017-03-29	ROOF HEIGHT ADJUSTED, BISTRO SIZE AND POST LOCATION REVISED, KITCHEN STORAGE AREA UPDATED
2017-03-30	POSTS AND ROOF UPDATE, STRUCTURAL UPDATE
2017-04-03	LAYOUT UPDATE, ELECTRICAL & FINISHES PLAN UPDATE
2017-04-19	NEW COMMENTS
2017-04-24	DOOR AND WINDOW SCHEDULE
2017-05-05	NEW CR LAYOUT OPTIONS
2017-05-09	NEW CR LAYOUT OPTION
2017-05-14	NEW WASHROOM LAYOUT
2018-03-12	REVISION - SITE PLAN
2018-03-13	REVISION - LAYOUT

PROJECT

PROPOSED CABANA LAYOUT

The Thornhill Club
Toronto

DRAWING TITLE

SITE PLAN

DRAWN BY
CADD

DATE DRAWN
03-14-2018

PROJECT NO.	
-------------	--

10-04

CHECKED BY

	SCALE
3	$1/32"=1'$

	DRAWING NO.
--	-------------

A100

ASSEMBLY LEGEND

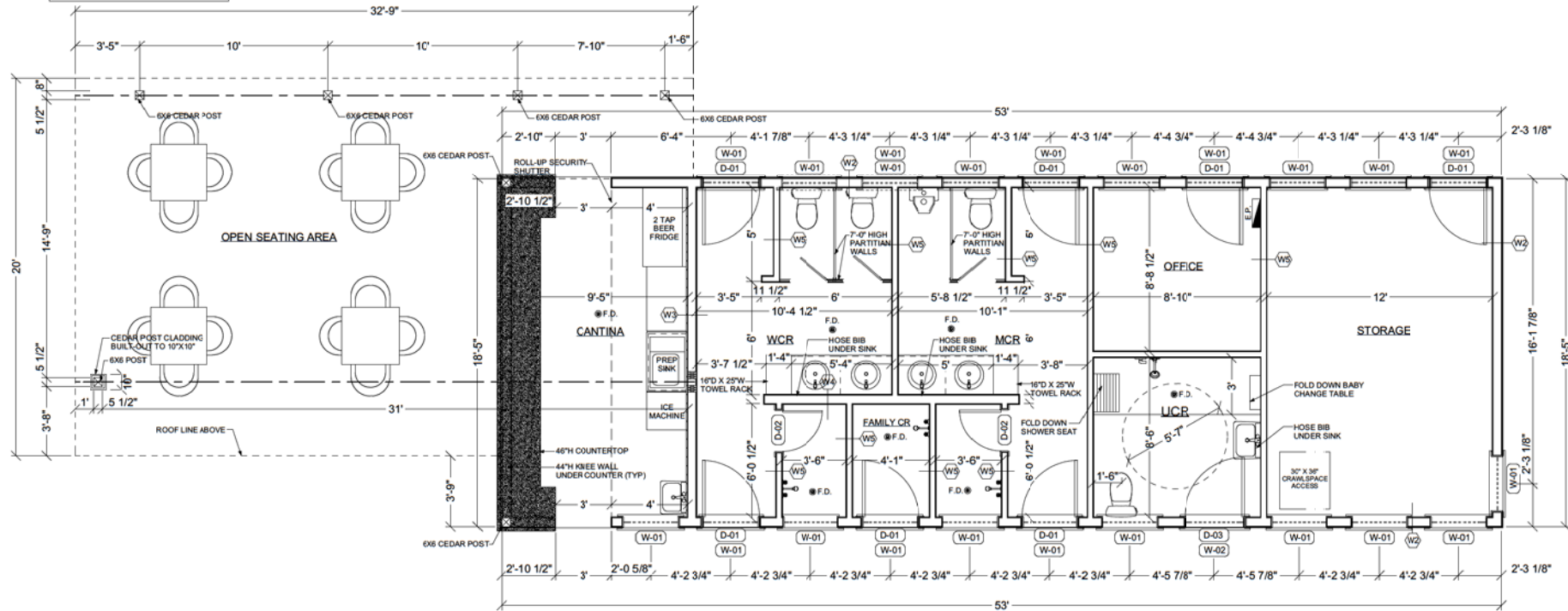
- (W1) FOUNDATION WALL
DRAINAGE MATT
DAMP PROOFING MATERIAL
8" 15 MPa POURED CONC. WALL
- (W2) 2 X 6 EXTERIOR FRAMED WALL
HARDIE PANEL SIDING BELOW W/ COMPOSITE WOOD SIDING ABOVE PER ELEVATIONS
1/2" STRAPPING
AIR BARRIER
7/16" OSB SHEATHING
2 X 6 STUDS @ 16" O.C.
R24 BATT INSUL.
1/2" DRYWALL
- (W3) 2 X 6 EXTERIOR CANTINA FRAMED WALL
TILE BELOW W/ COMPOSITE WOOD SIDING ABOVE PER ELEVATIONS
1/2" PLYWOOD
AIR BARRIER
7/16" OSB SHEATHING
2 X 6 STUDS @ 16" O.C.
R24 BATT INSUL.
1/2" DRYWALL
- (W4) 2 X 6 INTERIOR FRAMED PARTITION WALL
2 X 6 STUDS @ 16" O.C.
1/2" DRYWALL BOTH SIDES
- (W5) 2 X 4 INTERIOR FRAMED PARTITION WALL
2 X 4 STUDS @ 16" O.C.
1/2" DRYWALL BOTH SIDES
- (F1) CRAWLSPACE FLOOR
3" 25 MPa POURED CONC.
6" COMPACTED GRANULAR
6" CLEAR STONE
- (F2) FRAMED FLOOR CONSTRUCTION
FINISH FLOOR MATERIAL
5/8" T&G PLYWOOD SUBFLOOR
11 7/8" TJI 230 @ 16" O.C.
R31 BATT INSUL.
- (F3) CANTINA FLOOR CONSTRUCTION
FINISH FLOOR MATERIAL
5/8" T&G PLYWOOD SUBFLOOR
11 7/8" TJI 230 @ 16" O.C.
- (R1) RAFTER ROOF CONSTRUCTION
EPDM ROOFING MEMBRANE
ICE BARRIER PROTECTION TO 36" FROM EAVES
5/8" T&G PLYWOOD SHEATHING
11 7/8" TJI 230 @ 24" O.C.
R31 BLOW-IN FIBERGLASS INSUL.
VAPOUR BARRIER
1/2" DRYWALL
- (R2) CANTINA RAFTER ROOF CONSTRUCTION
EPDM ROOFING MEMBRANE
ICE BARRIER PROTECTION TO 36" FROM EAVES
5/8" T&G PLYWOOD SHEATHING
11 7/8" TJI 230 @ 24" O.C.
ALUM SOFFIT CEILING
- (R3) OPEN AREA RAFTER ROOF CONSTRUCTION
EPDM ROOFING MEMBRANE
5/8" T&G PLYWOOD SHEATHING
DOUBLE 2X10 RAFTERS @ 24" O.C.

PRELIMINARY - NOT FOR CONSTRUCTION

DOOR SCHEDULE						
DOOR	QTY	SIZE	RSO W X H	TYPE	STYLE	
D-01	8	36"	34 X 85	EXTERIOR	SLAB	
D-02	2	26"	28 X 82	INTERIOR	SLAB	
D-03	1	38"	41 X 85	EXTERIOR	SLAB	

WINDOW SCHEDULE						
WINDOW	QTY	GLASS	GRILLS	STYLE	RSO W X H	
W-01	20	CLEAR	NO	AWNING	34 X 15	
W-02	1	CLEAR	NO	AWNING	41 X 15	

NOTE:
LINE UP EAST BISTRO AREA POSTS DIRECTLY
RESIDE TENNIS COURT FENCE POSTS.



DC	DESCRIPTION	DATE

PROJECT DESCRIPTION:
CABANA LAYOUT
The Thornhill Club
Toronto

DRAWINGS PROVIDED BY:
CANADA BUILDS
423 HWY 36
Lindsay, ON K9V4R3
705-324-8777



DATE:
2018-03-14

SCALE:
1/4" = 1'

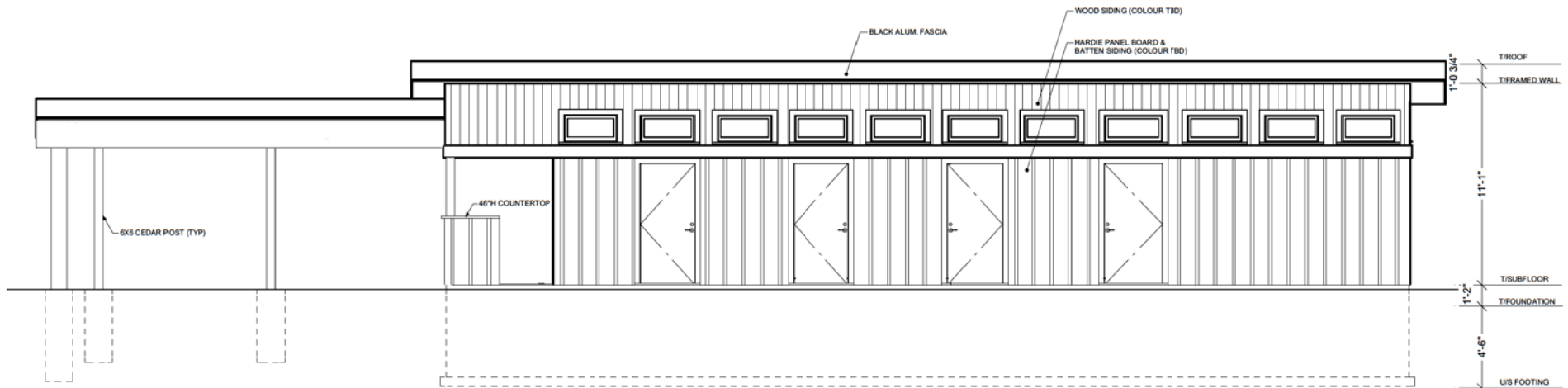
SHEET:

A-2

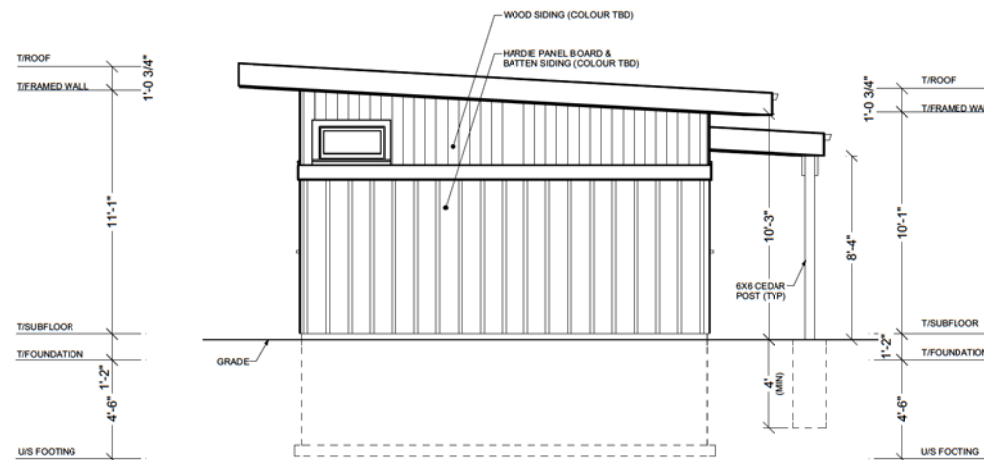
1
A2

GROUND FLOOR PLAN
1/4" = 1'

PRELIMINARY - NOT FOR CONSTRUCTION



1
A3 WEST ELEVATION
1/4" = 1'



2
A3 SOUTH ELEVATION
1/4" = 1'

DC DESCRIPTION DATE

PROJECT DESCRIPTION:
CABANA LAYOUT
The Thornhill Club
Toronto

DRAWINGS PROVIDED BY:
CANADA BUILDS
423 HWY 36
Lindsay on K9V4R3
705-324-8777



DATE:

2018-03-14

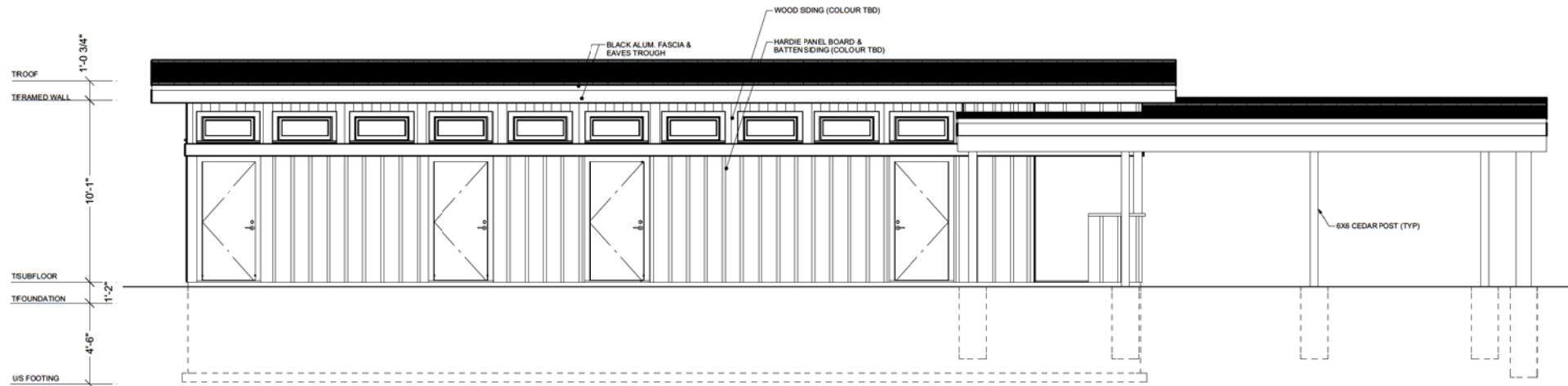
SCALE:

1/4" = 1'

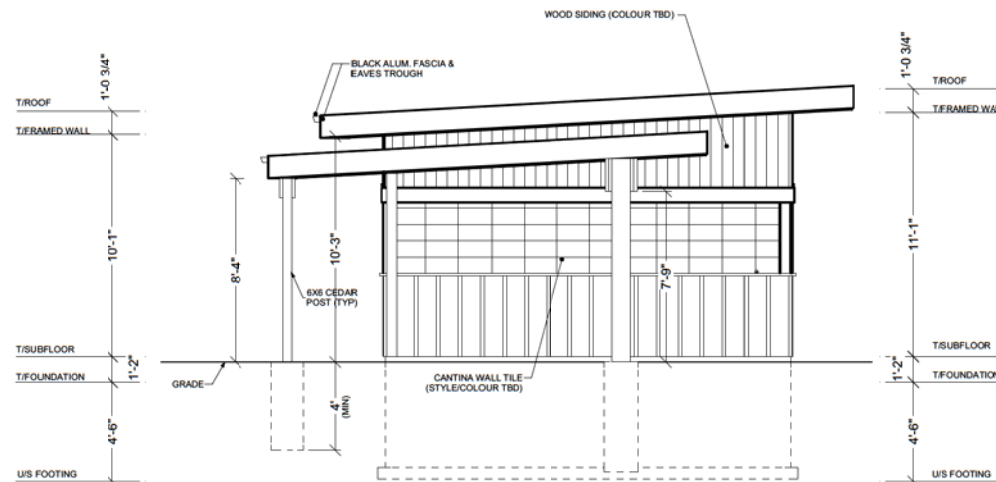
SHEET:

A-3

PRELIMINARY - NOT FOR CONSTRUCTION



1
A3 EAST ELEVATION
1/4" = 1'



2
A3 NORTH ELEVATION
1/4" = 1'

DC	DESCRIPTION	DATE

PROJECT DESCRIPTION:
CABANA LAYOUT
The Thornhill Club
Toronto

DRAWINGS PROVIDED BY:
CANADA BUILDS
423 HWY 26
Lindsay, ON K9V4R3
705-324-8777



DATE:

2018-03-14

SCALE:

1/4" = 1'

SHEET:

A-4



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
 Required unless design is exempt under Division C - 3.2.5.1. of the 2006 Ontario Building Code (or 2.17.5.1. of the 1997 Ontario Building Code)

A. AKSELOD *[Signature]* **37139**
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 Required unless design is exempt under Division C - 3.2.4.1. of the 2006 Ontario Building Code (or 2.17.4.1. of the 1997 Ontario Building Code)

CADAXX DESIGN **37356**
 FIRM NAME BCIN



1540 Lodestar Rd, Unit 1,
 Toronto, ON M3J 3C1

office 416.840.4743 cell 416.873.6899
 www.cadaxx.com info@cadaxx.com

DO NOT START CONSTRUCTION UNTILL A PERMIT IS ISSUED.

USE ONLY OFFICIAL CITY STAMPED PERMIT DRAWINGS FOR CONSTRUCTION.

PROJECT: RENOVATION The Thornhill Club. Frame building Yonge Street TORONTO	REVISION / ISSUE	DATE: 29.03.2018	PROJECT NO: 10-04
		SCALE: 1:60,13	DWG. NO:
	DRAWING TITLE: PERSPECTIVE VIEW	DRAWN: A.A.	A700
		CHECKED:	

NOTE: THE CONTRACTOR SHALL CHECK AND VERIFY DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING ANY WORK



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C = 3.2.5.1. of the 2006 Ontario Building Code (or 2.17.5.1. of the 1997 Ontario Building Code)

A. AKSELROD *[Signature]* **37139**
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C = 3.2.4.1. of the 2006 Ontario Building Code (or 2.17.4.1. of the 1997 Ontario Building Code)

CADAXX DESIGN **37356**
FIRM NAME BCIN

 **cadaxxdesign**

1540 Lodestar Rd, Unit 1,
Toronto, ON M3J 3C1

office 416.840.4743 cell 416.873.6899
www.cadaxx.com info@cadaxx.com

DO NOT START CONSTRUCTION UNTILL A PERMIT IS ISSUED.			NOTE: THE CONTRACTOR SHALL CHECK AND VERIFY DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING ANY WORK	
USE ONLY OFFICIAL CITY STAMPED PERMIT DRAWINGS FOR CONSTRUCTION.			DATE:	PROJECT NO:
PROJECT: RENOVATION The Thornhill Club. Frame building Yonge Street TORONTO			29.03.2018	10-04
			SCALE:	DWG. NO:
			1:60,13	A701
DRAWING TITLE:			DRAWN:	CHECKED:
PERSPECTIVE VIEW			A.A.	

NOTES:

1. CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VERIFY ALL JOB SITE DIMENSIONS, ALL DRAWINGS, DETAILS AND SPECIFICATIONS AND REPORT ANY DISCREPANCIES TO DESIGNER BEFORE PROCEEDING WITH THE WORK. SHOULD THE CONTRACTOR FAIL TO OBSERVE THESE CONDITIONS, THE ADDITIONAL EXPENSE FOR REMEDIAL WORK SHALL NOT BECOME THE RESPONSIBILITY OF THE DESIGNER UNDER ANY CIRCUMSTANCES.

2. DO NOT START CONSTRUCTION UNTILL A PERMIT IS ISSUED. USE ONLY OFFICIAL CITY STAMPED PERMIT DRAWINGS FOR CONSTRUCTION.

3.  DETAIL NUMBER
 DRAWING NUMBER

4. REPRODUCTION OR USE OF THIS DRAWING FOR CONSTRUCTION OR ANY OTHER PURPOSE IS FORBIDDEN UNLESS WRITTEN AUTHORIZATION IS OBTAINED FROM DESIGNER.

5. DO NOT SCALE DRAWING.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C-3.2.5.1. of the 2006 Ontario Building Code (or 2.17.5.1. of the 1997 Ontario Building Code)

A. AKSELROD  37139
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C-3.2.4.1. of the 2006 Ontario Building Code (or 2.17.4.1. of the 1997 Ontario Building Code)

CADAXX DESIGN LTD. 100624
FIRM NAME BCIN



1540 Lodestar Rd, Unit 1,
Toronto, ON M3J 3C1

office 416.639.0904 cell 416.873.6899
www.cadaxx.com info@cadaxx.com

REVISION / ISSUE

2016-12-22 LAYOUT DESIGN
2016-12-30 LAYOUT AND ELEVATIONS UPDATE
2017-01-12 CANTINA AREA UPDATE
2017-01-18 WINDOWS UPDATE

PROJECT

PROPOSED CABANA
LAYOUT

The Thornhill Club
Toronto

DRAWING TITLE

SITE PLAN

DRAWN BY
CADD

DATE DRAWN
01-18-2017

PROJECT NO.
10-04

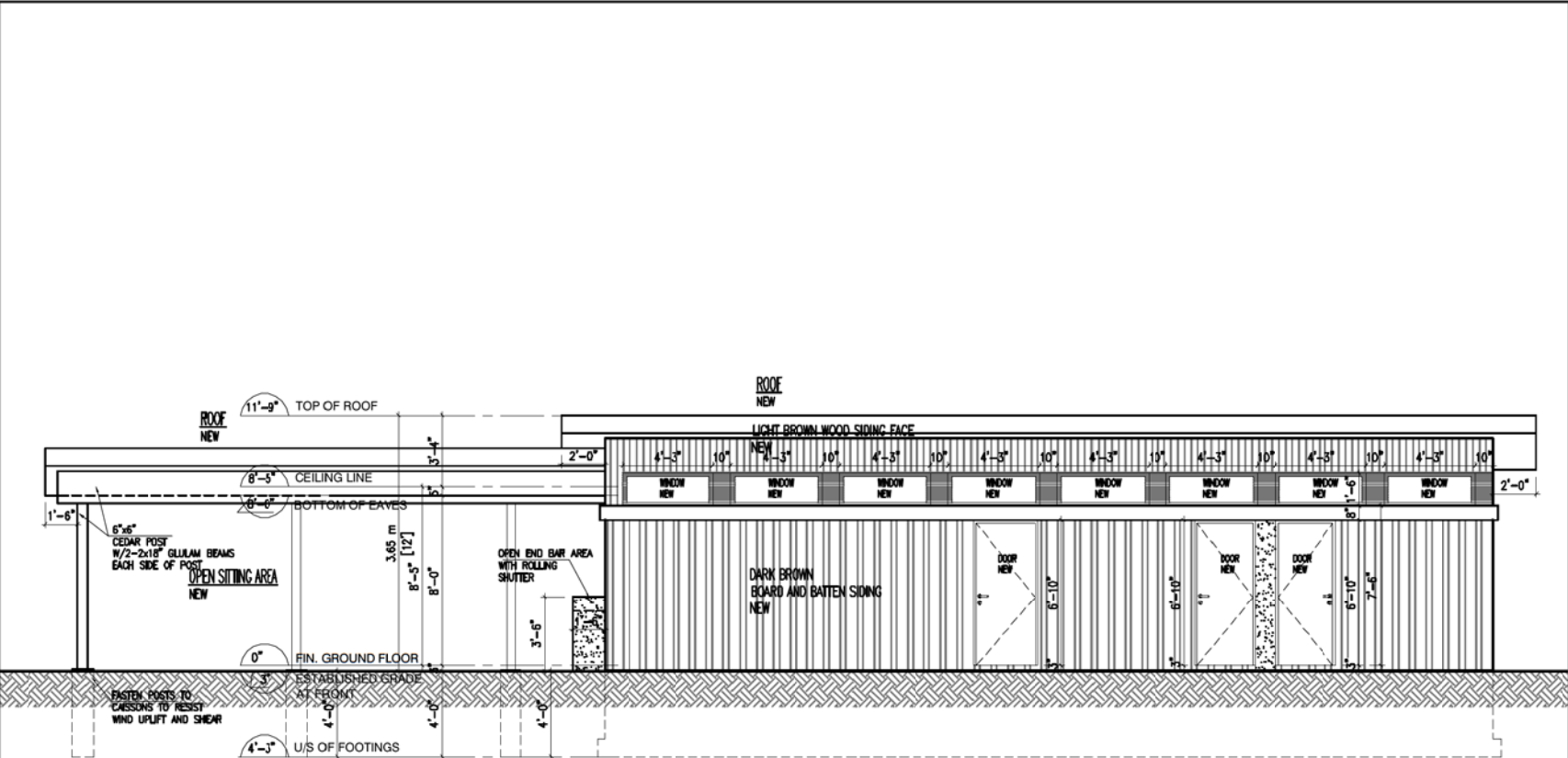
CHECKED BY

SCALE
3/32"=1'

DRAWING NO.

A100







NOTES:

1. CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VERIFY ALL JOB SITE DIMENSIONS, ALL DRAWINGS, DETAILS AND SPECIFICATIONS AND REPORT ANY DISCREPANCIES TO DESIGNER BEFORE PROCEEDING WITH THE WORK. SHOULD THE CONTRACTOR FAIL TO OBSERVE THESE CONDITIONS, THE ADDITIONAL EXPENSE FOR REMEDIAL WORK SHALL NOT BECOME THE RESPONSIBILITY OF THE DESIGNER UNDER ANY CIRCUMSTANCES.

2. DO NOT START CONSTRUCTION UNTIL A PERMIT IS ISSUED. USE ONLY OFFICIAL CITY STAMPED PERMIT DRAWINGS FOR CONSTRUCTION.

3.  DETAIL NUMBER
 DRAWING NUMBER

4. REPRODUCTION OR USE OF THIS DRAWING FOR CONSTRUCTION OR ANY OTHER PURPOSE IS FORBIDDEN UNLESS WRITTEN AUTHORIZATION IS OBTAINED FROM DESIGNER.

5. DO NOT SCALE DRAWING.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C - 3.2.5.1. of the 2006 Ontario Building Code (or 2.17.5.1. of the 1997 Ontario Building Code)

A. AKSELRÖD  37139
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C - 3.2.4.1. of the 2006 Ontario Building Code (or 2.17.4.1. of the 1997 Ontario Building Code)

CADAXX DESIGN LTD 100624
FIRM NAME BCIN



1540 Lodestar Rd, Unit 1,
Toronto, ON M3J 3C1
office 416.639.0904 cell 416.873.6899
www.cadaxx.com info@cadaxx.com

REVISION / ISSUE

2016-12-22 LAYOUT DESIGN
2016-12-30 LAYOUT AND ELEVATIONS UPDATE
2017-01-12 CANTINA AREA UPDATE
2017-01-18 WINDOWS UPDATE

PROJECT

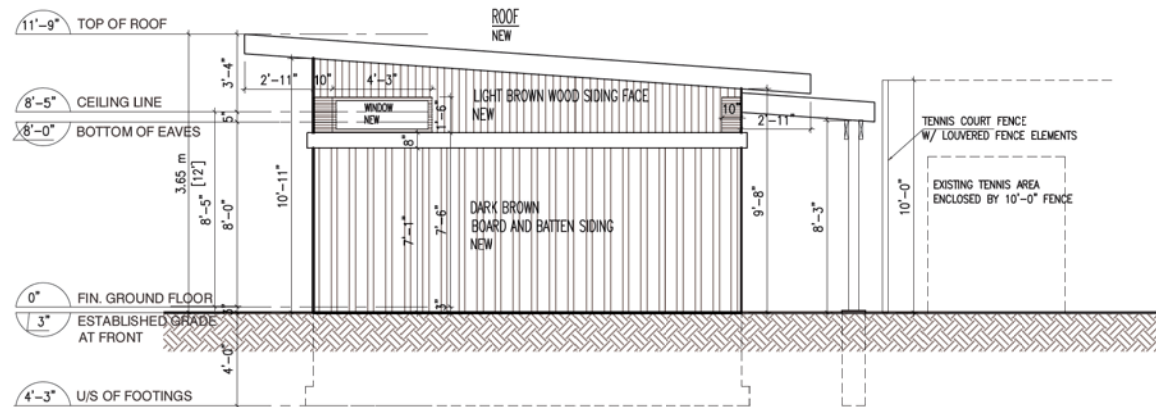
PROPOSED CABANA
LAYOUT

The Thornhill Club
Toronto

DRAWING TITLE

WEST ELEVATION

DRAWN BY CADD	CHECKED BY
DATE DRAWN 01-18-2017	SCALE 3/16"=1'
PROJECT NO. 10-04	DRAWING NO. A203



NOTES:

1. CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VERIFY ALL JOB SITE DIMENSIONS, ALL DRAWINGS, DETAILS AND SPECIFICATIONS AND REPORT ANY DISCREPANCIES TO DESIGNER BEFORE PROCEEDING WITH THE WORK. SHOULD THE CONTRACTOR FAIL TO OBSERVE THESE CONDITIONS, THE ADDITIONAL EXPENSE FOR REMEDIAL WORK SHALL NOT BECOME THE RESPONSIBILITY OF THE DESIGNER UNDER ANY CIRCUMSTANCES.

2. DO NOT START CONSTRUCTION UNTIL A PERMIT IS ISSUED.

USE ONLY OFFICIAL CITY STAMPED PERMIT DRAWINGS FOR CONSTRUCTION.

3.  DETAIL NUMBER
DRAWING NUMBER

4. REPRODUCTION OR USE OF THIS DRAWING FOR CONSTRUCTION OR ANY OTHER PURPOSE IS FORBIDDEN UNLESS WRITTEN AUTHORIZATION IS OBTAINED FROM DESIGNER.

5. DO NOT SCALE DRAWING.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C - 3.2.5.1. of the 2006 Ontario Building Code (or 2.17.5.1. of the 1997 Ontario Building Code)

A. AKSELROD  37139
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C - 3.2.4.1. of the 2006 Ontario Building Code (or 2.17.4.1. of the 1997 Ontario Building Code)

CADAXX DESIGN LTD 100624
FIRM NAME BCIN



1540 Lodestar Rd, Unit 1,
Toronto, ON M3J 3C1

office 416.639.0904 cell 416.873.6899
www.cadaxx.com info@cadaxx.com

REVISION / ISSUE

2016-12-22 LAYOUT DESIGN
2016-12-30 LAYOUT AND ELEVATIONS UPDATE
2017-01-12 CANTINA AREA UPDATE
2017-01-18 WINDOWS UPDATE

PROJECT

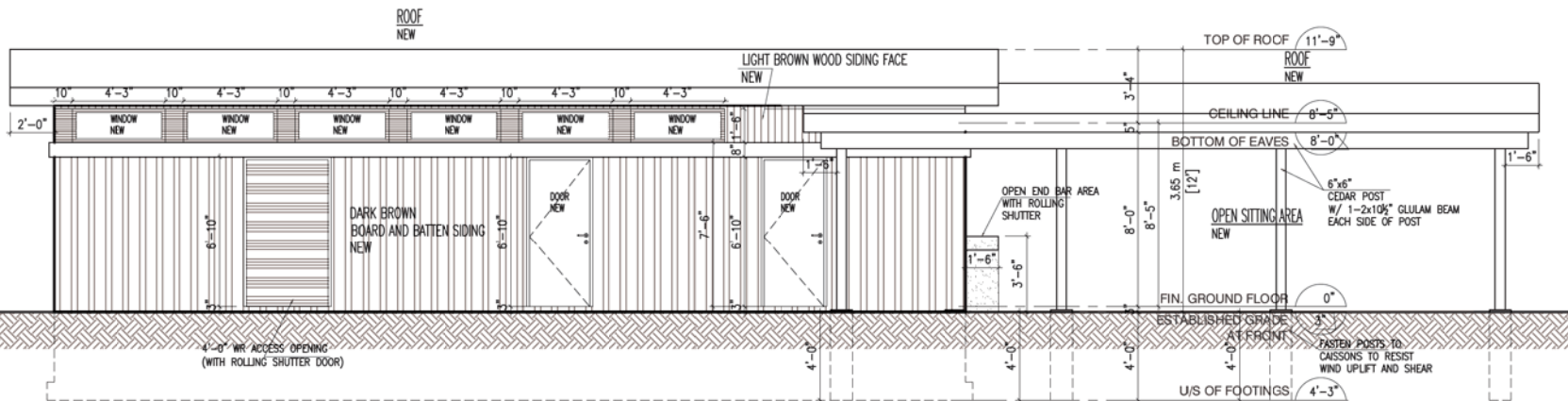
PROPOSED CABANA
LAYOUT



The Thornhill Club
Toronto

DRAWING TITLE

SOUTH ELEVATION
W/ TENNIS COURT FENCE

DRAWN BY CADD	CHECKED BY
DATE DRAWN 01-18-2017	SCALE 3/16"=1'
PROJECT NO. 10-04	DRAWING NO. A204-2



- NOTES:
1. CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VERIFY ALL JOB SITE DIMENSIONS, ALL DRAWINGS, DETAILS AND SPECIFICATIONS AND REPORT ANY DISCREPANCIES TO DESIGNER BEFORE PROCEEDING WITH THE WORK. SHOULD THE CONTRACTOR FAIL TO OBSERVE THESE CONDITIONS, THE ADDITIONAL EXPENSE FOR REMEDIAL WORK SHALL NOT BECOME THE RESPONSIBILITY OF THE DESIGNER UNDER ANY CIRCUMSTANCES.
 2. DO NOT START CONSTRUCTION UNTIL A PERMIT IS ISSUED. USE ONLY OFFICIAL CITY STAMPED PERMIT DRAWINGS FOR CONSTRUCTION.
 3.  DETAIL NUMBER
 DRAWING NUMBER
 4. REPRODUCTION OR USE OF THIS DRAWING FOR CONSTRUCTION OR ANY OTHER PURPOSE IS FORBIDDEN UNLESS WRITTEN AUTHORIZATION IS OBTAINED FROM DESIGNER.
 5. DO NOT SCALE DRAWING.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under Division C - 3.2.5.1. of the 2006 Ontario Building Code (or 2.17.5.1. of the 1997 Ontario Building Code)

A. AKSELROD  37139
NAME SIGNATURE BCIN

REGISTRATION INFORMATION

Required unless design is exempt under Division C - 3.2.4.1. of the 2006 Ontario Building Code (or 2.17.4.1. of the 1997 Ontario Building Code)

CADAXX DESIGN LTD. 100624
FIRM NAME BCIN



1540 Lodestar Rd, Unit 1,
Toronto, ON M3J 3C1

office 416.639.0904 cell 416.873.6899
www.cadaxx.com info@cadaxx.com

REVISION / ISSUE

2016-12-22 LAYOUT DESIGN
2016-12-30 LAYOUT AND ELEVATIONS UPDATE
2017-01-12 CANTINA AREA UPDATE
2017-01-18 WINDOWS UPDATE

PROJECT

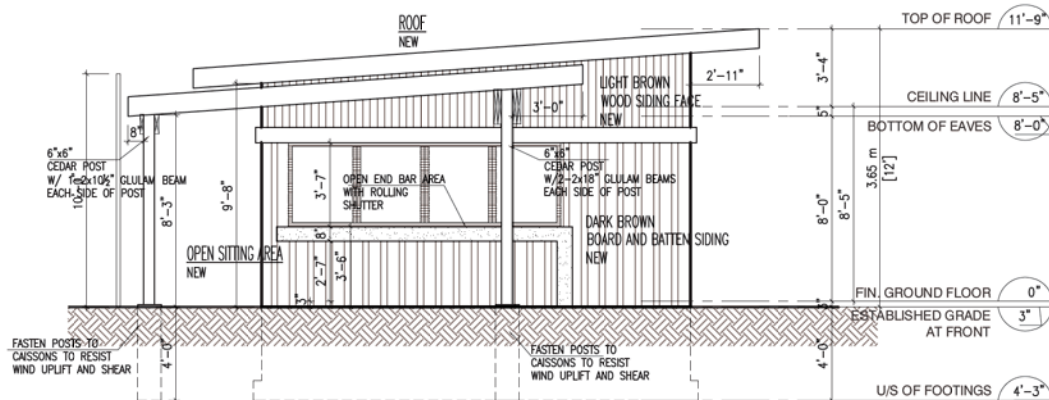
PROPOSED CABANA
LAYOUT

The Thornhill Club
Toronto

DRAWING TITLE

EAST ELEVATION

DRAWN BY CADD	CHECKED BY
DATE DRAWN 01-18-2017	SCALE 3/16"=1'
PROJECT NO. 10-04	DRAWING NO. A205



NOTES:

1. CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VERIFY ALL JOB SITE DIMENSIONS, ALL DRAWINGS, DETAILS AND SPECIFICATIONS AND REPORT ANY DISCREPANCIES TO DESIGNER BEFORE PROCEEDING WITH THE WORK. SHOULD THE CONTRACTOR FAIL TO OBSERVE THESE CONDITIONS, THE ADDITIONAL EXPENSE FOR REMEDIAL WORK SHALL NOT BECOME THE RESPONSIBILITY OF THE DESIGNER UNDER ANY CIRCUMSTANCES.

2. DO NOT START CONSTRUCTION UNTIL A PERMIT IS ISSUED.

USE ONLY OFFICIAL CITY STAMPED PERMIT DRAWINGS FOR CONSTRUCTION.

3. DETAIL NUMBER
DRAWING NUMBER

4. REPRODUCTION OR USE OF THIS DRAWING FOR CONSTRUCTION OR ANY OTHER PURPOSE IS FORBIDDEN UNLESS WRITTEN AUTHORIZATION IS OBTAINED FROM DESIGNER.

5. DO NOT SCALE DRAWING.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under Division C - 3.2.5.1. of the 2006 Ontario Building Code (or 2.17.5.1. of the 1997 Ontario Building Code)

A. AKSELROD 37139
NAME SIGNATURE BCIN

REGISTRATION INFORMATION

Required unless design is exempt under Division C - 3.2.4.1. of the 2006 Ontario Building Code (or 2.17.4.1. of the 1997 Ontario Building Code)

CADAXX DESIGN LTD. 100624
FIRM NAME BCIN



1540 Lodestar Rd, Unit 1,
Toronto, ON M3J 3C1

office 416.639.0904 cell 416.873.6899
www.cadaxx.com info@cadaxx.com

REVISION / ISSUE

2016-12-22 LAYOUT DESIGN
2016-12-30 LAYOUT AND ELEVATIONS UPDATE
2017-01-12 CAVING AREA UPDATE
2017-01-18 WINDOWS UPDATE

PROJECT

PROPOSED CABANA
LAYOUT

The Thornhill Club
Toronto

DRAWING TITLE

NORTH ELEVATION

DRAWN BY
CADD

DATE DRAWN
01-18-2017

PROJECT NO.

10-04

CHECKED BY

SCALE
3/16"=1'

DRAWING NO.

A206

Attachment 4 f) Previously approved design - colour rendering



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C - 3.2.5.1. of the 2006 Ontario Building Code (or 2.17.5.1. of the 1997 Ontario Building Code)

A. AKSELROD 37139
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C - 3.2.4.1. of the 2006 Ontario Building Code (or 2.17.4.1. of the 1997 Ontario Building Code)

CADAXX DESIGN 37356
FIRM NAME BCIN

 **cadaxxdesign**

1540 Lodestar Rd, Unit 1,
Toronto, ON M3J 3C1

office 416.840.4743 cell 416.873.6899
www.cadaxx.com info@cadaxx.com

DO NOT START CONSTRUCTION UNTILL A PERMIT IS ISSUED.			
USE ONLY OFFICIAL CITY STAMPED PERMIT DRAWINGS FOR CONSTRUCTION.			
PROJECT: RENOVATION The Thornhill Club. Frame building Yonge Street TORONTO	REVISION / ISSUE	DATE: 13.01.2017	PROJECT NO: 10-04
		SCALE: 1:60,13	DWG NO: A700
	DRAWING TITLE: PERSPECTIVE VIEW	DRAWN: A.A.	CHECKED: