

**ADDITION TO EXISTING HOUSE – 705 NASHVILLE ROAD**

**Recommendation**

Cultural Services recommends:

- 1) That Heritage Vaughan approve the proposed addition to 705 Nashville Road subject to the following condition:
  - i. That proposed building materials be reviewed and approved by Cultural Services staff.
- 2) That the applicant be advised that if there are any new changes as a result of addressing issues from review by other departments, a new submittal for review for the Heritage Vaughan Committee may be required and any previous approval granted may be deemed invalid based on the new information provided.

**Contribution to Sustainability**

This report is consistent with the priorities previously set by Council in the Green Directions, Vaughan, Community Sustainability Environmental Master Plan, Goal 4, and Objective 4.1:

- To foster a city with strong social cohesion, an engaging arts scene, and a clear sense of its culture and heritage.

**Economic Impact**

N/A

**Communications Plan**

All agenda items and minutes relating to Heritage Vaughan committee meetings are circulated to relevant city departments, applicants and their representatives.

**Purpose**

The applicant is proposing to construct a one-and-a-half storey addition to an existing one a half storey non-contributing residential building in the Kleinburg-Nashville Heritage Conservation District. The addition will be constructed where an existing detached garage sits and behind the existing house. The proposal also includes a carport that will not extend beyond the front of the existing house.

**Background - Analysis and Options**

The subject property is located in the Kleinburg-Nashville Heritage Conservation District and is therefore designated Part V of the Ontario Heritage Act. The subject property contains a non-heritage style house, built in the Cape Cod architectural style, circa 1950.

The existing house is a typical Vernacular “Cape-Cod” Cottage (Section 9.2.2), also known as postwar Victory housing, and is a side-gable one-and-a-half storey building. The building has an off-centre front entrance, aluminum clapboard siding, asphalt shingled roof, random ashlar stone foundation (likely just the cladding), a side chimney, and various window types.

The property is located on the south side of Nashville Road, east of Huntington Road and the railway.

## Analysis

### Examination of the Kleinburg-Nashville Heritage Conservation District Guidelines that support the proposal

- The proposal follows a design approach provided in the guidelines – the Contemporary Alteration approach
- The design of the proposed addition relates to the Cape Cod architectural style but will be clearly distinguishable from the existing structure
- The massing, siting, and setbacks of the addition respects the modest massing of the existing structure
- The proposed addition will provide more usable space to the existing structure and provide for contemporary needs

#### *5.2.5 Future Development in the District*

*To guide new development so it can provide for contemporary needs, and to ensure its design will be compatible with and complimentary to the character of the District and the heritage resources within.*

Comment: the proposed development will fulfill contemporary needs and compliment the character of the existing building.

#### *6.3 Policies for New Development*

*New development should be limited to vacant sites or to sites currently occupied by unsympathetic buildings.*

Comments: Site currently contains non-heritage style building.

#### *9.3.7 New Additions to Heritage Buildings*

- *Design additions to maintain the original architectural style of the building.*
- *Use authentic detail.*
- *Research the architectural style of the original building.*
- *Follow the relevant guidelines for new construction.*
- *Don't design additions to a greater height or scale than the original building.*
- *Don't design additions to predominate over the original building.*

Comment: The existing building is non-heritage style building, although the same principles apply. The addition does maintain the original architecture of the building and the sitting, height, and massing is appropriate, but the details are not authentic and are a contemporary interpretation.

#### *9.3.8 Outbuildings for Heritage Buildings*

*Connected garages should minimize their street presence. For example, a garage may be turned so that the doors face a side lot line, or it may be set well back from the main frontage, with the connection to the main building disguised or hidden.*

Comment: The new building has a garage door that is the same cladding as the addition and is somewhat "disguised". The original house has a detached garage, typical of the Cape Cod style, therefore the disguising of the door of the attached garage is supported.

#### *9.4 Existing Non-Heritage Buildings*

##### *9.4.1.2 Contemporary Alteration*

*In some cases, a modern building may be altered in a way that respects and complements its original design.*

- *Additions and alterations using the Contemporary Alteration approach should respect, and be consistent with, the original design of the building.*

Comment: The proposed addition follows the "contemporary alteration" approach and attempts to compliment the existing structure which was designed in the Cape Cod style. The existing

structure does not contain any outstanding qualities, in both architecture and craftsmanship, and the proposed addition is a contemporary interpretation of the Cape Cod style. Overall, the siting, massing, and roof style of the addition relate to the existing non-heritage style while the materials chosen, rear dormer, and windows are a contemporary interpretation of that style.

The Cape Cod style is a rather modest building and a sympathetic additions poses several challenges. The proposed addition contains shed dormers and large windows to maximize useable space while maintaining appropriate massing of the Cape Cod style. As mentioned above, Section 5.2.5, new development should allow for contemporary needs.

### *9.5.3 Residential Villages*

#### *9.5.3.1 Site Planning*

*Site new houses to preserve existing trees.*

Comment: the applicant's intention is for all existing trees to be preserved.

#### *Section 9.5.3.3 Scale and Massing*

*New Buildings should be designed to preserve the generous side yard typical in the villages.*

Comment: The 2-storey addition will retain the existing side yards as the addition will be placed where the existing detached garage stands and to the rear of the existing house.

### **Relationship to Vaughan Vision 2020/Strategic Plan**

In consideration of the strategic priorities related to Vaughan Vision 2020, the report will provide:

- STRATEGIC GOAL:  
Service Excellence - Providing service excellence to citizens.
- STRATEGIC OBJECTIVES:  
Preserve our heritage and support diversity, arts and culture.

This report is consistent with the priorities previously set by Council, however the necessary resources have not been allocated and approved.

### **Regional Implications**

N/A

### **Conclusion**

The proposed addition for 705 Nashville Road should be approved as it conforms to the Kleinburg-Nashville Heritage Conservation District Guidelines.

### **Attachments**

1. Location Map, Model Photos, A14, received April 10, 2013
2. Existing North Elevation, A4, received April 10, 2013, Existing East Elevation, A6, received April 10, 2013
3. Existing South Elevation, A8, received April 10, 2013, Existing West Elevation, A10, received April 10, 2013
4. Site Plan, A1, received April 10, 2013
5. North Elevation, A5, received April 10, 2013
6. East Elevation, A7, received April 10, 2013
7. South Elevation, A9, received April 10, 2013
8. West Elevation, A11, received April 10, 2013

**Report prepared by:**

Daniel Rende  
Cultural Heritage Coordinator, ext. 8112  
Recreation and Culture Department

Angela Palermo  
Manager of Cultural Services, ext. 8139  
Recreation and Culture Department



### Location Map



Model Photos, A14, received April 10, 2013



Existing North Elevation, A4, received April 10, 2013



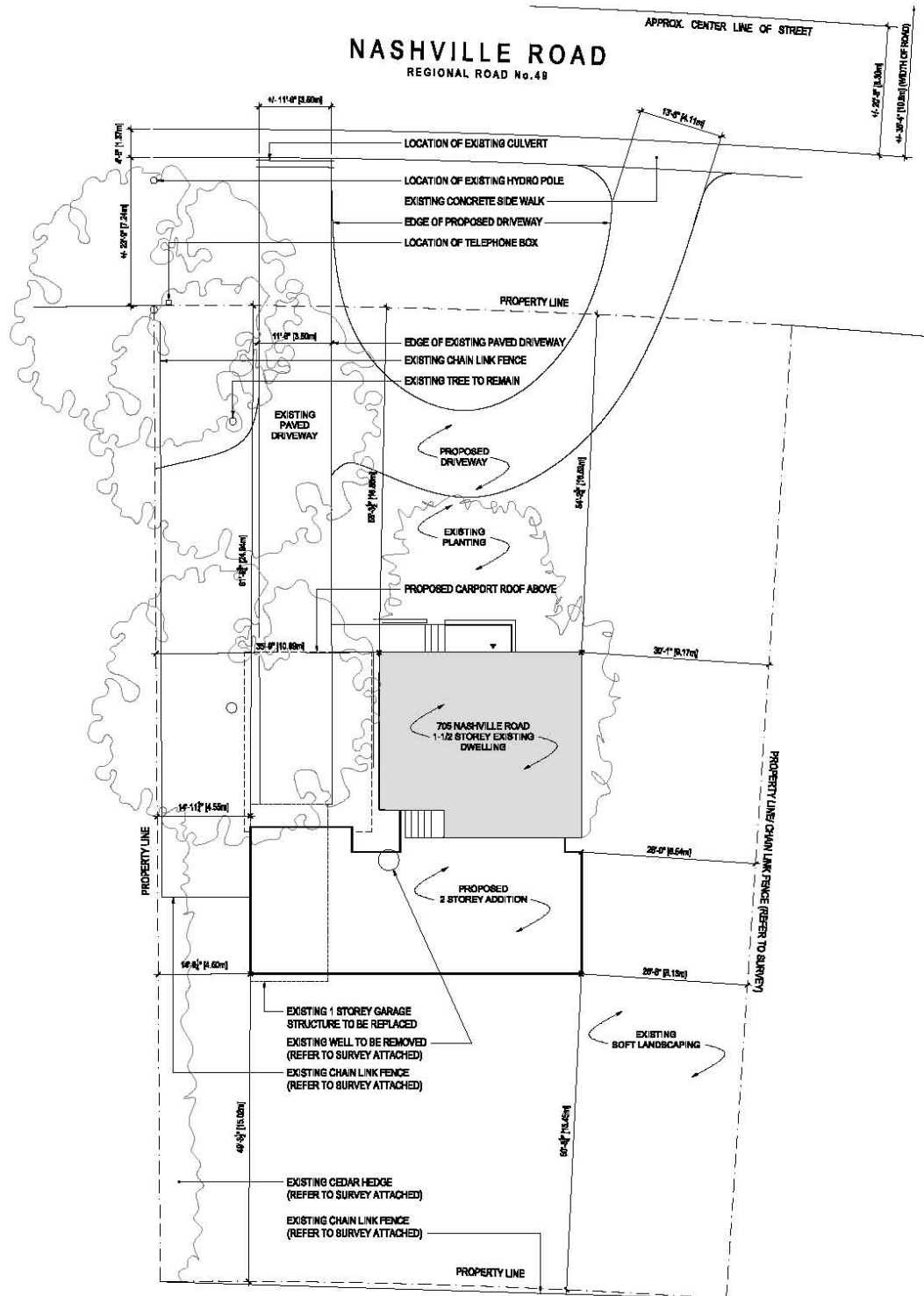
Existing East Elevation, A6, received April 10, 2013



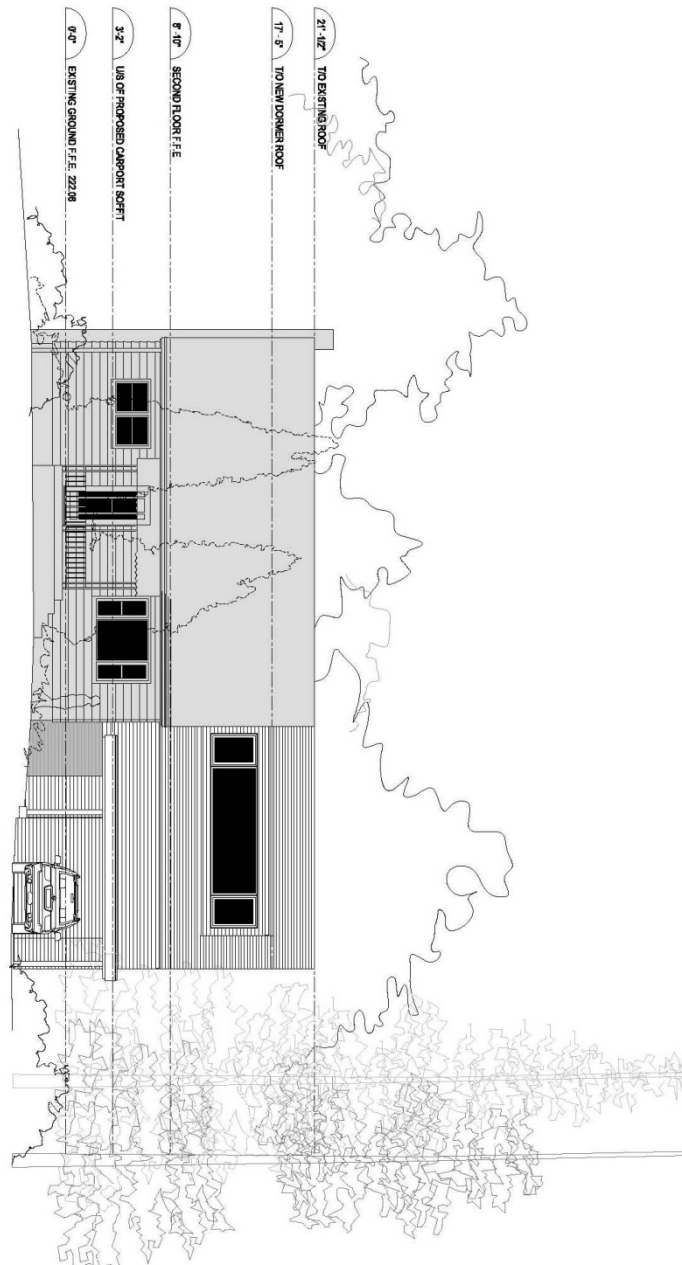
Existing South Elevation, A8, received April 10, 2013



Existing West Elevation, A10, received April 10, 2013

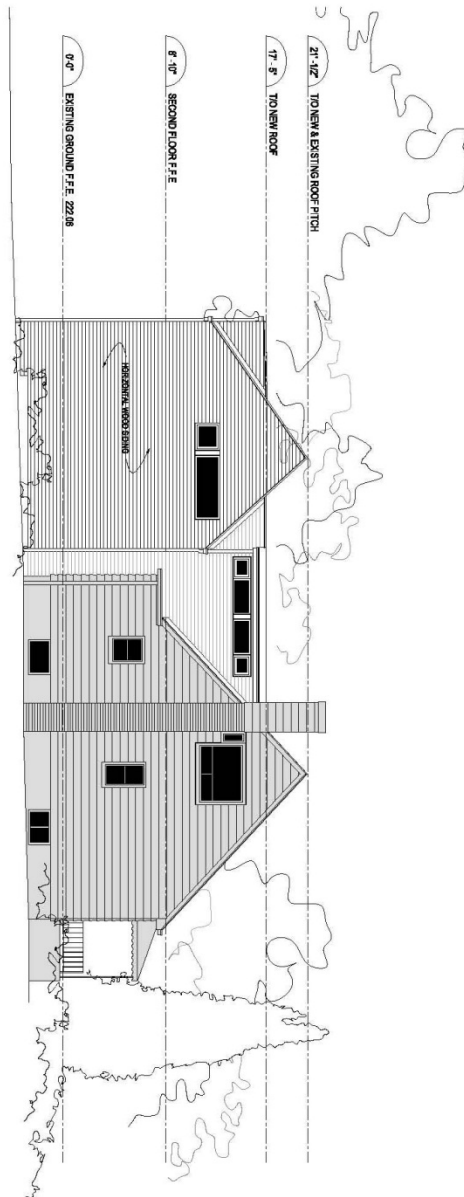


Site Plan, A1, received April 10, 2013



<p>ONTARIO ASSOCIATION OF ARCHITECTS MICHEL AMANTEA LICENCE 6708</p>	<p><b>aMar</b> amantea architects 12 ELUS PARK ROAD TORONTO ON M6S 2V3 416.807.9772 studio@michelamantea.com</p>	<p><i>nashville residence</i> 705 NASHVILLE ROAD KLEINBURG, ON <b>North Elevation</b> April 10 2013 1/8" = 1'-0"</p> <p><b>A5</b></p>
--	--	---

North Elevation, A5, received April 10, 2013

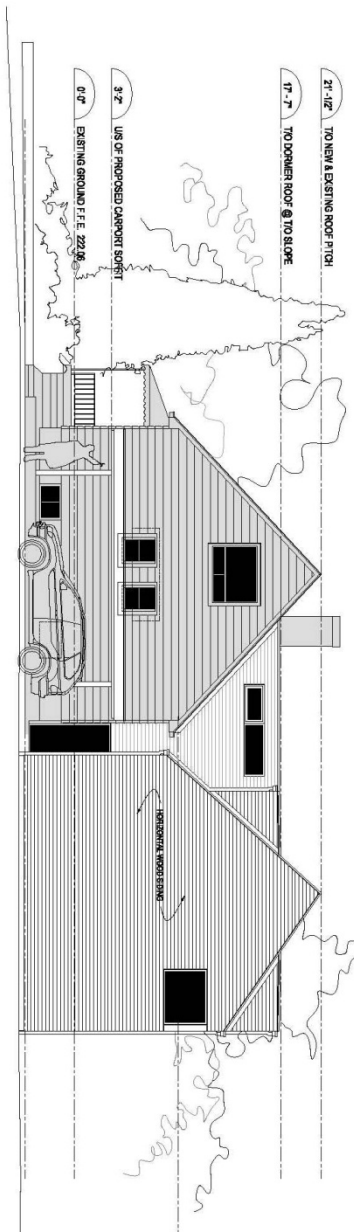


	<p><b>aMAr</b> amantea architects  <small>12 CLUS PARK ROAD TORONTO ON M5S 2V3          416.307.9772 studio@amantea.com</small></p>	<p><i>nashville residence</i>  <small>706 NASHVILLE ROAD KLEINBURG, ON.</small>  <b>East Elevation</b>  <small>March 22 2013          1/8" = 1'-0"</small></p> <p><b>A7</b></p>
---	---	---

East Elevation, A7, received April 10, 2013



South Elevation, A9, received April 10, 2013



<p>ONTARIO ASSOCIATION OF ARCHITECTS MICHEL AMANTEA LICENSE 6798</p>	<p><b>aMAr</b> amantea architects 12 ELLIS PARK ROAD TORONTO ON M6S 2V3 416.857.9772 studio@michaelamantea.com</p>	<p><b>nashville residence</b> 756 NASHVILLE ROAD KLEINBURG, ON <b>West Elevation</b> March 22 2013 1/8" = 1'-0"</p>	<p><b>A11</b></p>
--	--	---	-------------------

West Elevation, A11, received April 10, 2013