

HERITAGE VAUGHAN COMMITTEE – FEBRUARY 19, 2014

3. 20 BELL COURT – APPLICATION FOR DEMOLITION AND NEW CONSTRUCTION – WARD 1

Recommendation

Cultural Services recommends:

1. That the demolition of the existing building be approved subject to the following conditions:
 - a) That the demolition clearance be effective from the date of the Building Permit and Heritage Permit approval is granted for new construction.
2. That the proposal for new construction be approved, subject to Heritage Vaughan having no objections to the rear elevation and tower and the information provided at the meeting; and,
3. That the recommendations in the section *Recommended Changes* be executed prior to Heritage Permit approval; and,
4. That building materials and colours be submitted to Cultural Services staff for approval; and,
5. That the applicant be advised that if there are any changes to the application (eg. coverage, height, building elevation, site plan) as a result of addressing issues by other departments, a new submittal for review for the Heritage Vaughan Committee may be required and any previous approval granted may be deemed invalid based on the new information provided.

Contribution to Sustainability

This report is consistent with the priorities previously set by Council in the Green Directions, Vaughan, Community Sustainability Environmental Master Plan, Goal 4, and Objective 4.1:

- To foster a city with strong social cohesion, an engaging arts scene, and a clear sense of its culture and heritage.

Economic Impact

N/A

Communications Plan

All agenda items and minutes relating to Heritage Vaughan committee meetings are circulated to relevant City departments, applicants and their representatives.

Purpose

To review the proposal for demolition of the existing structure and construction of a new building at 20 Bell Court.

Background - Analysis and Options

Location and Heritage Status

The subject property is located on Bell Court – a crescent street that connects to Islington Avenue and backs onto Highway 27. The subject property is located in the Kleinburg-Nashville Heritage Conservation District and is therefore Designated Part V under the Ontario Heritage Act.

All new construction, alteration, and demolition applications within the Kleinburg-Nashville Heritage Conservation Districts are subject to the District's Guidelines and require the approval of a Heritage Permit with Heritage Vaughan Committee approval, in addition to any other City approvals.

The existing building on the subject property is a 1960s one-storey Ranch style bungalow. The building is considered a non-heritage style in the Kleinburg-Nashville Heritage Conservation District Guidelines and demolition of the existing building can be supported if proper replacement infill that complies with the Guidelines is proposed.

Proposal

This application was included in the January 22, 2014 Heritage Vaughan agenda but was deferred to the agenda of the February 19, 2014 meeting. Since then, the applicant has been working with Cultural Services staff to revise their proposal.

The applicant is proposing to demolish the existing building and construct a new building in its place. The proposed new construction is a 2-storey house designed in the Victorian Vernacular style.

Analysis

Section 9.2.1 Heritage Style Buildings

The proposed house relates to the Victorian Vernacular style which is a recognized heritage style in the Kleinburg-Nashville Heritage Conservation District Guidelines

Section 9.2.3 Heritage Design and Details

The rear elevation of the proposed building contains a two-storey tower that does not relate to the design of the building nor the Kleinburg-Nashville Heritage Conservation District Guidelines. The tower falls below the roofline of the front elevation and cannot be seen from Islington Avenue. Furthermore, the proposed building backs onto natural open space and Highway 27. The tower will likely be seen from Highway 27, although its impact will be minimal due to the buffering distance.

Heritage Vaughan is requested to consider this information when rendering a decision.

Section 9.7.2 New Development in the Valleys

The subject property falls within the valley area of the Kleinburg-Nashville HCD (see Attachment 1). The guidelines recommend the use of buildings *suitable for the valley landscape* which include farmhouses, mill buildings, and rural buildings and that the building should fit into the landscape. The Victorian Vernacular building style is often found on farm properties throughout Vaughan and Ontario and is appropriate for the site. At the entrance of Bell Court, fronting on Islington Avenue, there is another Victorian Vernacular house. The proposed building is taller than what is currently there but it does not exceed the current Zoning Bylaw for maximum height.

Recommended Changes

The following changes to the elevations are required:

Front Elevation

- Remove transom from front doorway
- Lower stone skirting to roughly half of current height
- Use Victorian columns in porch and remove bases from columns (see p.91 in Kleinburg-Nashville HCD Guidelines)
- Remove circular window above doorway or replace with Victorian window
- Glazing in windows must be arched at top to match arch above (see p. 86 in KNHCD Guidelines, option D)
- Use brick in bay window and place single window at front. Wood trim must be removed (see p.88 in KNHCD Guidelines)
- Remove louvered windows from gable faces or replace with authentic decorative brickwork

Rear Elevation

- Use just metal/iron and glass and remove brick columns in deck to lessen its presence
- Remove optional garage door

Right Side Elevation

- Create a smaller side gable to accentuate the L-shape massing
- Continue stone skirting to further accentuate L-shape massing

Variances

The applicant has advised that they will be making an application to the Committee of Adjustment for variances for lot frontage and an increase in lot coverage for 14% where a maximum of 10% is required in the Vaughan Zoning By-law (to be confirmed and reviewed by Building Standards Department).

The Heritage Vaughan Committee has not approved increased zoning in the main village centre of the Kleinburg-Nashville Heritage Conservation District – streets like Islington, Napier, Kellam – but there is precedent for increased lot coverage outside of the core. Along Nashville Road one application (A206/13) was approved for 16.8% by the Committee of Adjustment instead of the maximum 10% lot coverage. The application was approved by Heritage Vaughan at the May 22, 2013 meeting and 14% lot coverage was presented although it was stated that this number was not yet confirmed. Another application along Nashville Road (A230/13 – August 21, 2013 Heritage Vaughan) was approved for 17.9% by Heritage Vaughan and the Committee of Adjustment. The coverage amount for this application included 3.5% for a carport, therefore, the actual buildings on the subject property comprised a coverage of 14.4%.

Based on these two precedents, 14% lot coverage where 10% maximum coverage is permitted can be supported by Cultural Services.

Site Plan Approval

Based on discussion with the Development Planning Department, this application will require a site plan application and site plan approval. The applicant is advised that if there are any changes to the application (eg. coverage, height, building elevation, site plan) as a result of addressing issues from review by other departments, a new submittal for review for the Heritage Vaughan Committee may be required and any previous approval granted may be deemed invalid based on the new information provided.

Relationship to Vaughan Vision 2020/Strategic Plan

This report supports the Vaughan Vision 2020 initiative of **Service Excellence**, specifically to “Demonstrate Excellence in Service Delivery” and to “Preserve our Heritage and Support Diversity, Arts and Culture”.

The findings and recommendations are consistent with City of Vaughan policies and practices and factor the results of consultation with the Heritage Vaughan Committee and analysis of the proposal described in this report.

Regional Implications

N/A

Conclusion

See recommendation

Attachments

1. Location Map, Subject property in Valley Lands – non-hatched area
2. Existing building front elevation. January 31, 2014
3. Existing building rear elevation. January 31, 2014
4. View of Highway 27 from rear of property and view of Islington Ave. from front of property. January 31, 2014
5. Rear yard of subject property. January 31, 2014
6. Proposed site plan. Received February 12, 2014
7. Proposed floor plans and roof plan. Received February 12, 2014
8. Proposed front and left elevations. Received February 12, 2014
9. Proposed rear and right elevations. Received February 12, 2014

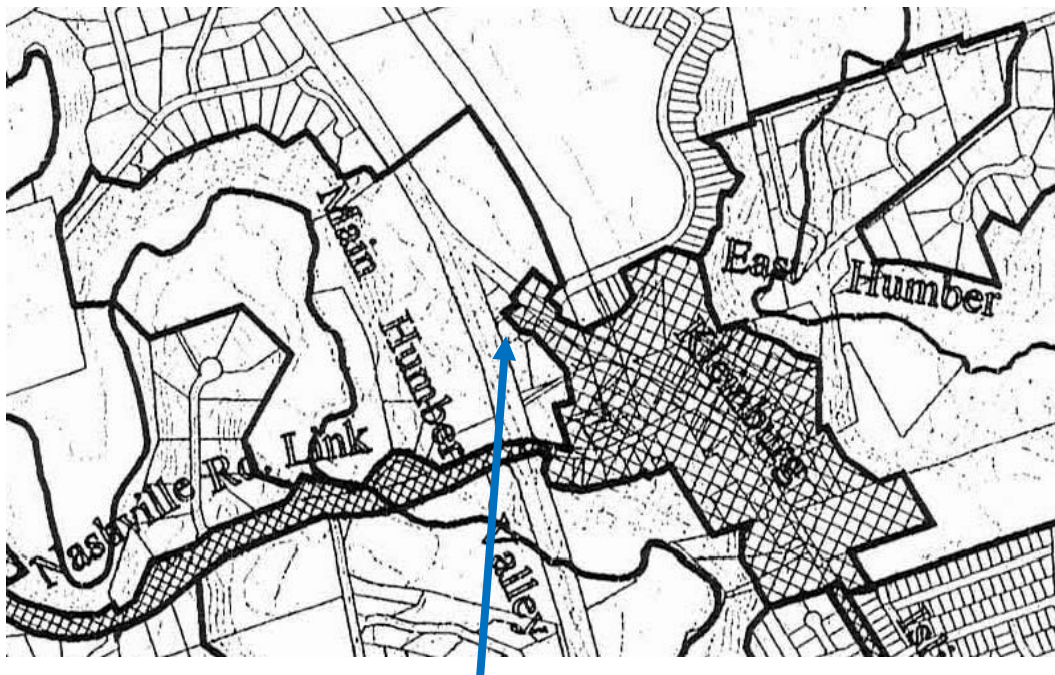
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Location Map



Subject property in Valley Lands – non-hatched area

Attachment 2



Existing building front elevation. January 31, 2014



Existing building rear elevation. January 31, 2014

Attachment 4

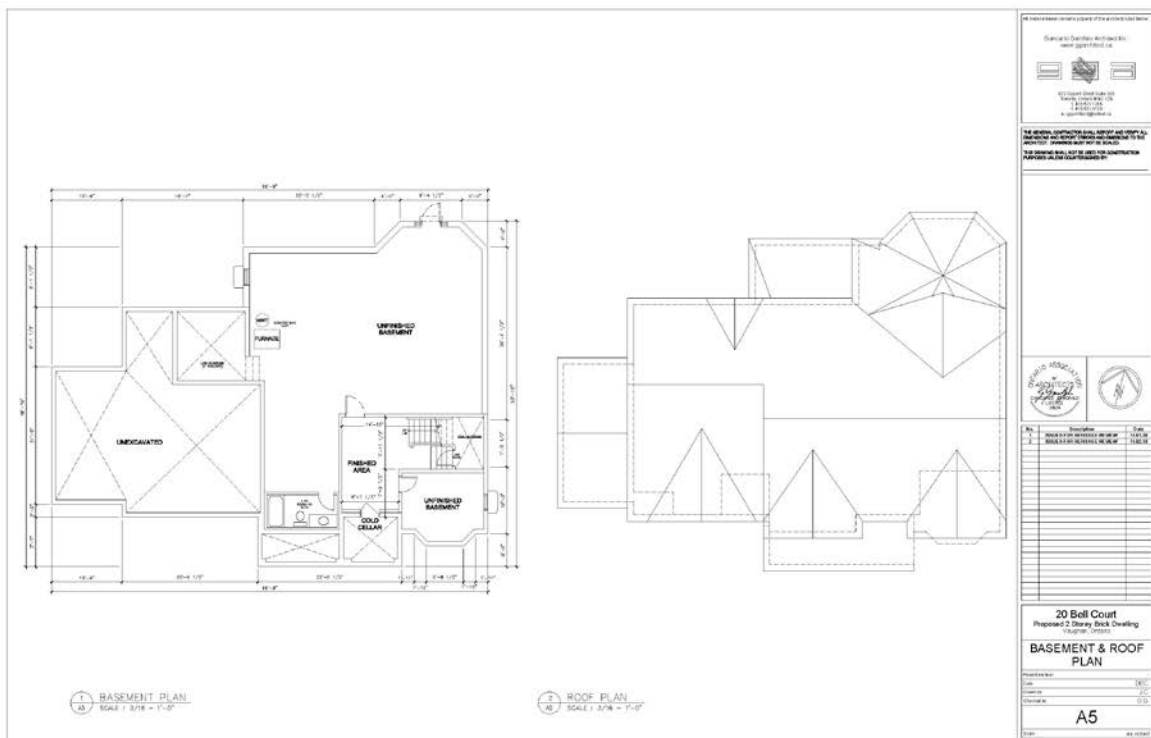
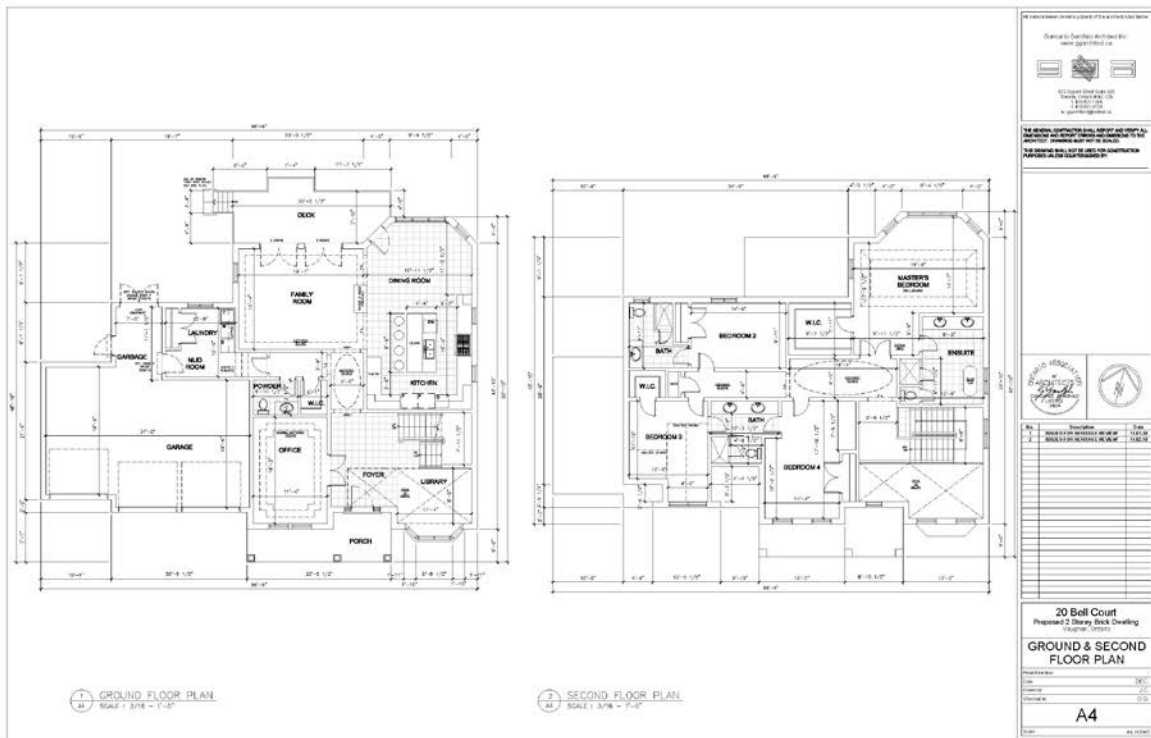


View of Highway 27 from rear of property and view of Islington Ave from front of property. January 31, 2014

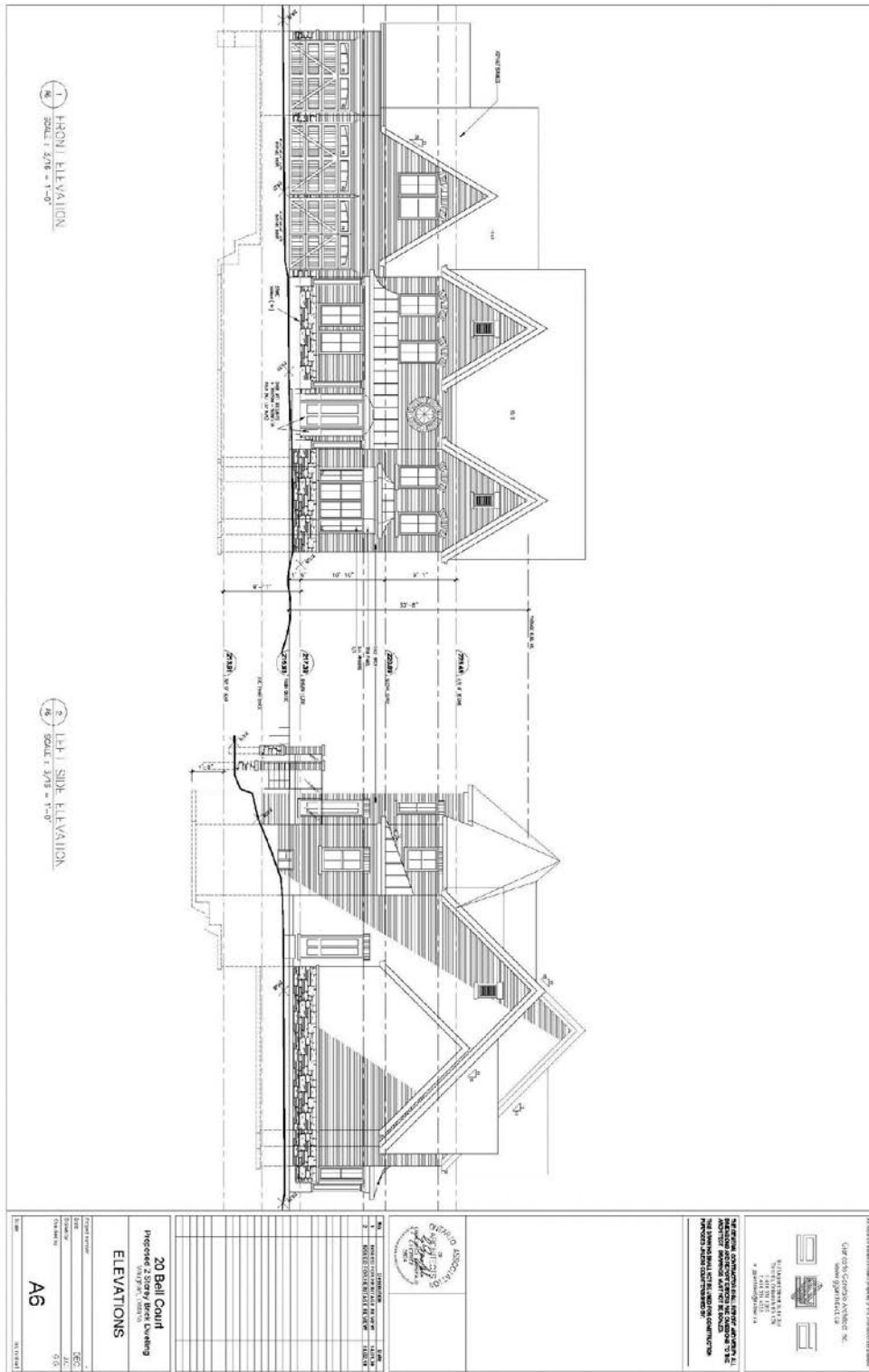


Rear yard of subject property. January 31, 2014

Attachment 7



Proposed floor plans and roof plan. Received February 12, 2014



Proposed front and left elevations. Received February 12, 2014

Proposed rear and right elevations. Received February 12, 2014