

**2.     PROPOSED FRONT PORCH STEPS AND DEMOLITION OF EXISTING REAR GARAGE AT 7827 KIPLING AVENUE – WARD 2**

**Recommendation**

Cultural Services recommends:

1.     That Heritage Vaughan approve the proposed demolition of the existing garage at 7827 Kipling Avenue as shown in the drawings included in the attachment section of this report, with the following conditions:
  - a)     That the new front steps to the house be painted and that the owner submit paint colours to Cultural Services staff for approval, and;
  - b)     That the applicant submit two copies of a finalized set of architectural building permit drawings for review and approval by Cultural Services staff, including site plan, plans elevations; and,
  - c)     The applicant is advised that should the design change as a result of addressing issues from review by other departments, (eg. variance requirements etc) the applicant will be required to contact Cultural Services in order to obtain approval of a revised Heritage Permit. The new submittal may require review by the Heritage Vaughan Committee and any previous approvals granted may be deemed invalid based on the new information provided.

**Contribution to Sustainability**

This report is consistent with the priorities previously set by Council in the Green Directions, Vaughan, Community Sustainability Environmental Master Plan, Goal 4, and Objective 4.1:

- To foster a city with strong social cohesion, an engaging arts scene, and a clear sense of its culture and heritage.

**Economic Impact**

N/A

**Communications Plan**

All agenda items and reports relating to Heritage Vaughan committee meetings are circulated to relevant City departments, applicants and their representatives.

**Purpose**

To consider the background and analysis portion of this report in order to review the proposal for renovation of the existing rear cottage at the subject property.

**Background - Analysis and Options**

**Background**

The property is Designated Part V, as part of Woodbridge Heritage Conservation District.

The existing home on the property is identified as “contributing” in the Heritage Conservation District Plan. It is of the Edwardian foursquare style.

## Analysis

### **Garage**

The applicant has requested the demolition of the existing garage in order to accommodate parking in the rear of the property. The back yard would be paved except for a limited landscaped area on the north – rear corner of the property. The parking spaces would be required in order to run a business and professional office in the entirety of the existing house on the property. A new rear wooden fence would be installed.

Staff has evaluated the existing garage building on January 2014. The following is a summary of findings:

- Single car detached garage
- Wood frame structure (1940-50's) on concrete slab (has been redone late 20<sup>th</sup> century)
- The garage was moved after 1987 and before 2009 to accommodate large addition to the rear of the main house.
- Gabled roof clad in cedar shingles
- Horizontal wood cladding, painted finish on the south elevation. This cladding may date from as late as 1950's based on the width of the boards that is exposed to the weather, and the lack of a vertical board finishing detail at the corner that would have been more typical in early 20<sup>th</sup> century.
- Recent, cedar shingle cladding on other three sides, artificial stone wash course on front elevation
- Modern, recently updated roll-up insulated garage door
- Structure in good condition
- Windows on the north side may have been reclaimed and incorporated from another site.
- In the rear elevation, the structure has been re-clad in cedar shingles and a reclaimed front door; wood paneled with three beveled glass top lights (c.1910-1940) has been installed. A porch has also been constructed. These are alterations dating from c. 10 to 5 years ago, done by the previous owner, who ran a photography studio.

In the rear yard an existing 21<sup>st</sup> century wooden deck and an existing small gazebo would also be removed.

The applicant has provided an up-to date survey of the property, recording the location and size of the foot print of the garage.

The entire back yard, except for a portion in the rear would be paved with slate stone, which currently covers some of the back yard.

As a result of the analysis, staff finds that the existing detached garage is sympathetic to the character of the house and the area, however, in itself, it is not a strong example of the architecture styles and detailing of the era. Please refer to the recommendation section of the report.

### **Front steps**

During the site visit it was noted that the owner has replaced the previously existing dry-laid front steps with wooden steps of a style more in accordance with the style of the main house and its existing front porch railing. The painting of the steps is pending.

### **Relationship to Vaughan Vision 2020/Strategic Plan**

This report supports the Vaughan Vision 2020 initiative of **Service Excellence**, specifically to "Demonstrate Excellence in Service Delivery" and to "Preserve our Heritage and Support Diversity, Arts and Culture".

The findings and recommendations are consistent with City of Vaughan policies and practices and factor the results of consultation with the Heritage Vaughan Committee and analysis of the proposal described in this report.

## **Regional Implications**

N/A

## **Conclusion**

Please refer to recommendation section of this report.

## **Attachments**

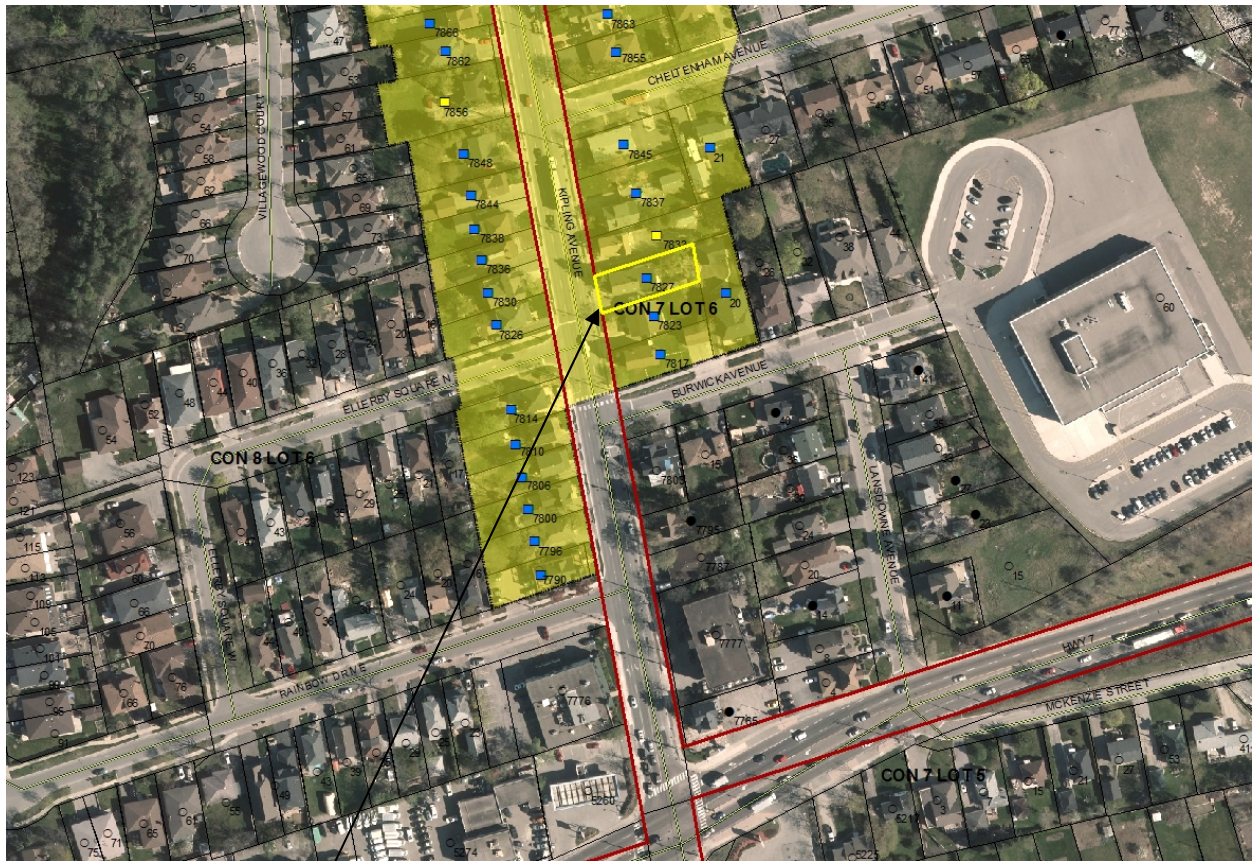
1. 7827 Kipling Avenue, Location Map (above and aerial photo detail below)
2. 1982 Survey
3. 2013 Survey
4. Proposed Site Plan
5. West (Front elevation), View from rear, North Elevation (above) and details (below)
6. Top left: South Elevation, Top right: South elevation overall view, Bottom: interior of roof structure
7. Top: view of the back yard towards house, rear addition of house visible, Bottom: South side view of overall main house from Kipling Avenue.
8. Front view of house on Kipling Avenue, front steps.

## **Report prepared by:**

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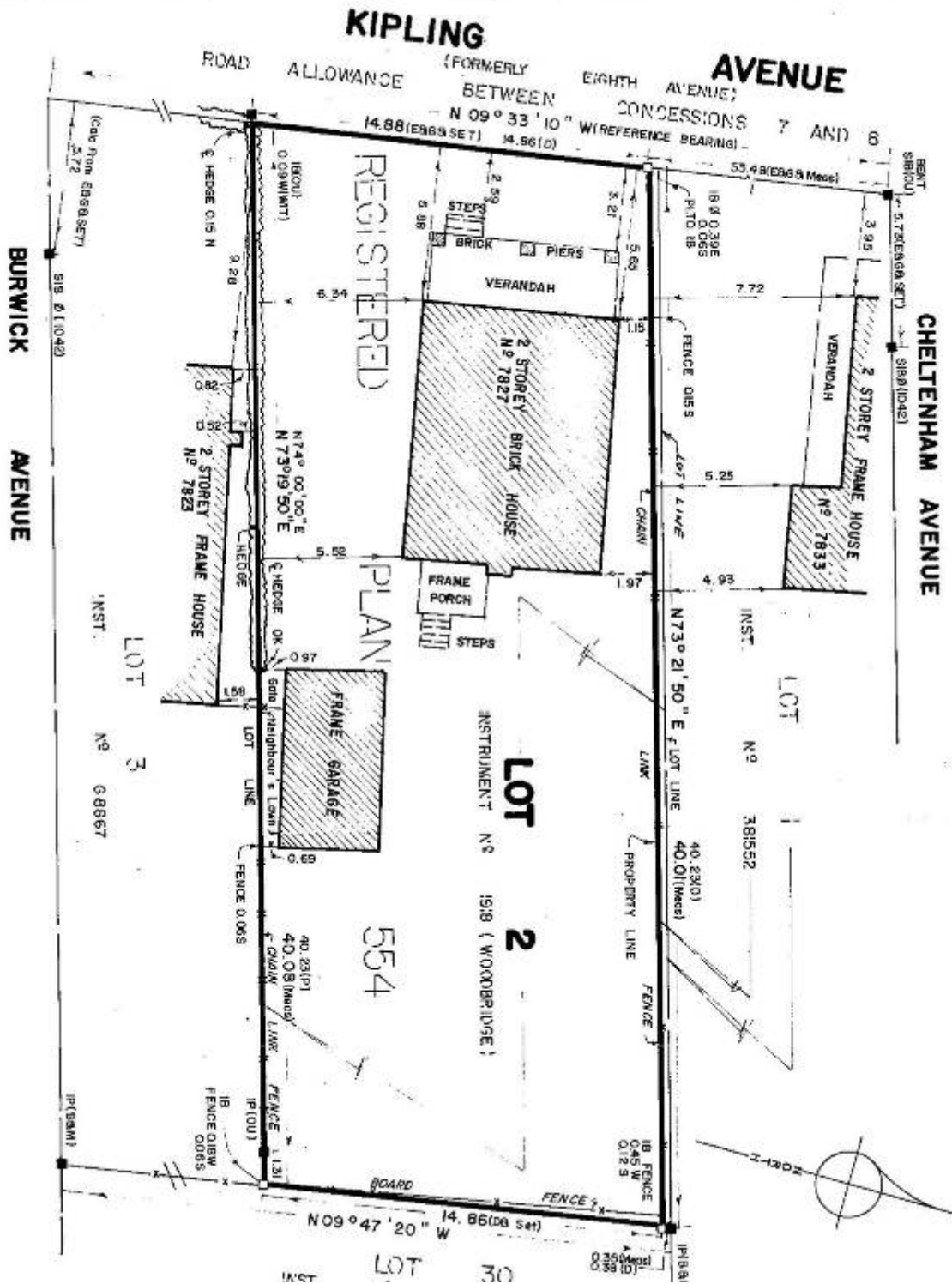
Angela Palermo  
Manager of Cultural Services, Ext. 8139  
Recreation and Culture Department

## Attachment 1

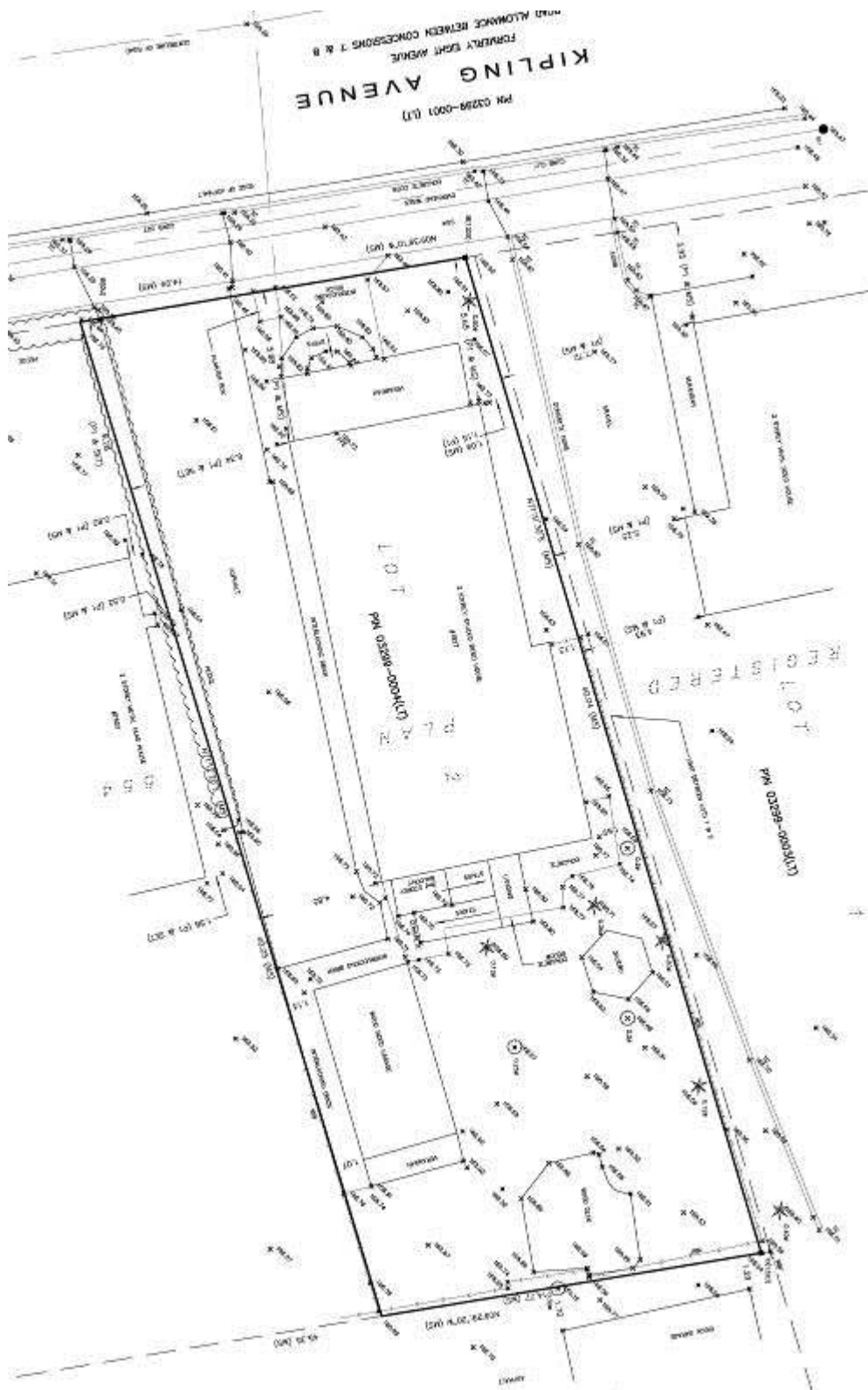


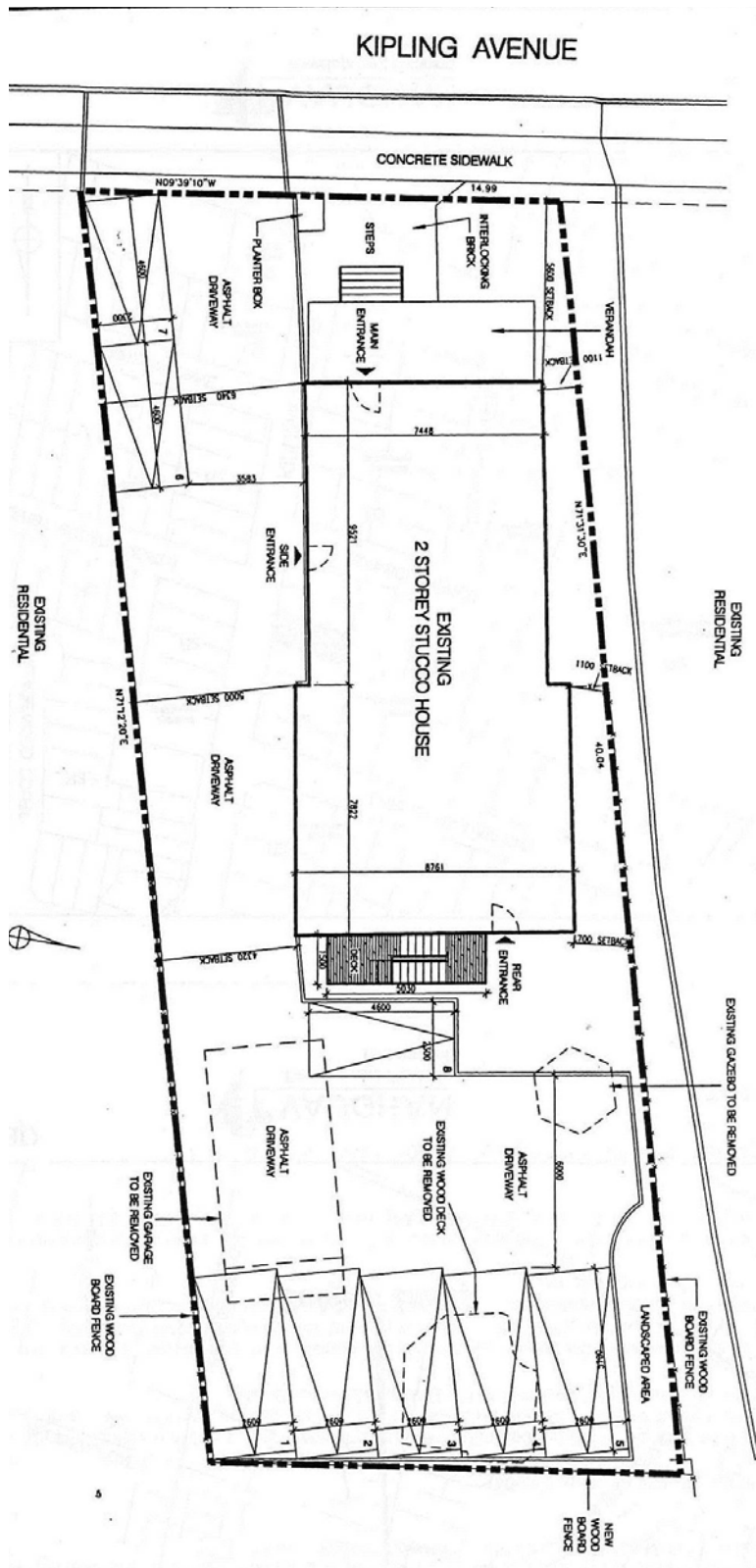
7827 Kipling Avenue  
Location Map (above and aerial photo detail below)











Proposed Site Plan

**Attachment 5**



West (Front elevation)



View from rear



North Elevation (above) and details (below)





**Attachment 6**



Top left: South Elevation  
Top right: South elevation overall view.  
Bottom: interior of roof structure.

**Attachment 7**



Top: view of the back yard towards house, rear addition of house visible.  
Bottom: South side view of overall main house from Kipling Avenue.



**Attachment 8**



Front view of house on Kipling Avenue, front steps.