

**1. PROPOSED RENOVATION OF EXISTING REAR COTTAGE AT 25 ELIZABETH STREET –
WARD 5**

Recommendation

Cultural Services recommends:

1. That Heritage Vaughan approve the proposed design as shown in the drawings included in the attachment section of this report, with the following conditions:
 - a) That the applicant submit material samples for review and approval by Cultural Services staff when these are available; and,
 - b) That the applicant submit two copies of a finalized set of architectural permit drawings for review and approval by Cultural Services staff, including site plan, plans elevations; and,
 - c) The applicant is advised that should the design change as a result of addressing issues from review by other departments, (eg. variance requirements etc) the applicant will be required to contact Cultural Services in order to obtain approval of a revised Heritage Permit. The new submittal may require review by the Heritage Vaughan Committee and any previous approvals granted may be deemed invalid based on the new information provided.

Contribution to Sustainability

This report is consistent with the priorities previously set by Council in the Green Directions, Vaughan, Community Sustainability Environmental Master Plan, Goal 4, and Objective 4.1:

- To foster a city with strong social cohesion, an engaging arts scene, and a clear sense of its culture and heritage.

Economic Impact

N/A

Communications Plan

All agenda items and reports relating to Heritage Vaughan committee meetings are circulated to relevant City departments, applicants and their representatives.

Purpose

To consider the background and analysis portion of this report in order to review the proposal for renovation of the existing rear cottage at the subject property.

Background - Analysis and Options

Background

The property is Designated Part V, as part of Thornhill Heritage Conservation District. It is also a Registered property under Part IV of the Ontario Heritage Act.

In the Thornhill Heritage Conservation District Plan, the cottage is a one storey, L-shaped bungalow, identified in the Thornhill Heritage Conservation District as dating from “circa 1920, with later additions”. In plan, the nook of the “L” has been covered by a flat roof and brick walls with large window openings – giving the feeling of a front sunroom.

Analysis

The applicant is proposing to retain the existing cottage and renovate it.

Staff has evaluated the cottage building on September 2013. The following is a summary of findings:

- Stucco cladding on metal lath (20's and 30's or could be as late as 1940's)
- Gable ends clad in wide exposed horizontal siding (painted wood composite)
- Gable end clad in worn asphalt shingles (style: 20's and 30's)
- Wide multi-pane feature window with divided lights - presently a recent vinyl type- however the style suits well as a replacement of a possible previous colonial revival style (20's and 30's)
- The wood structure and construction is modest, machine sawn lumber. It was built as a wood frame structure on very shallow, earth-formed, poured concrete foundations. Some parts of the foundation on the inside of the sunroom, show signs of wood plank form work which could have been done only in that area when the sunroom/front porch was renovated near the middle of the 20th century. The shallow foundations reflect a structure that was built as a modest or seasonal structure.
- There is rot present in some foundation sill wood members.
- Windows have been replaced with vinyl, except for a one of the side windows which is a single hung, 6 over 6, wood sash style window.

The consulting architect for the project has provided a description of the proposed project. Please refer to the attachment section of this report. In summary, the proposal will include the following work:

- New sturdy foundation of appropriate depth
- Inspect and replace as needed rotted wood structure members
- Replacement of front sunroom area walls and replacement of floor structure as required
- New cladding and windows with adjusted sizes as per drawings
- New sloped roof on south portion of cottage and elimination of flat roof area
- Interior renovation

The subject property has obtained previous approval to maintain a total coverage of 35.3% (A192/11). This coverage will not be altered as part of this proposal.

As a result of the analysis, staff finds that the bungalow is not a strong example of the architecture styles of the era. Its current most visible stylistic characteristics date from the mid to late 20th century, with an ancestry in the colonial revival styles of the beginning of the 20th century. However, as a component of the Thornhill Heritage Conservation District Plan and complementary structure to the main house on the property – a Registered building – an important aim of a proposed renovation project to the subject structure should be to maintain its scale and harmonize its architectural stylistic components in a way sympathetic to the district guidelines. Staff finds that the subject proposal achieves this aim.

Relationship to Vaughan Vision 2020/Strategic Plan

In consideration of the strategic priorities related to Vaughan Vision 2020, the report will provide:

- **STRATEGIC GOAL:**
Service Excellence - Providing service excellence to citizens.
- **STRATEGIC OBJECTIVES:**
Preserve our heritage and support diversity, arts and culture.

This report is consistent with the priorities previously set by Council, however the necessary resources have not been allocated and approved.

Regional Implications

N/A

Conclusion

Please refer to recommendation section of this report.

Attachments

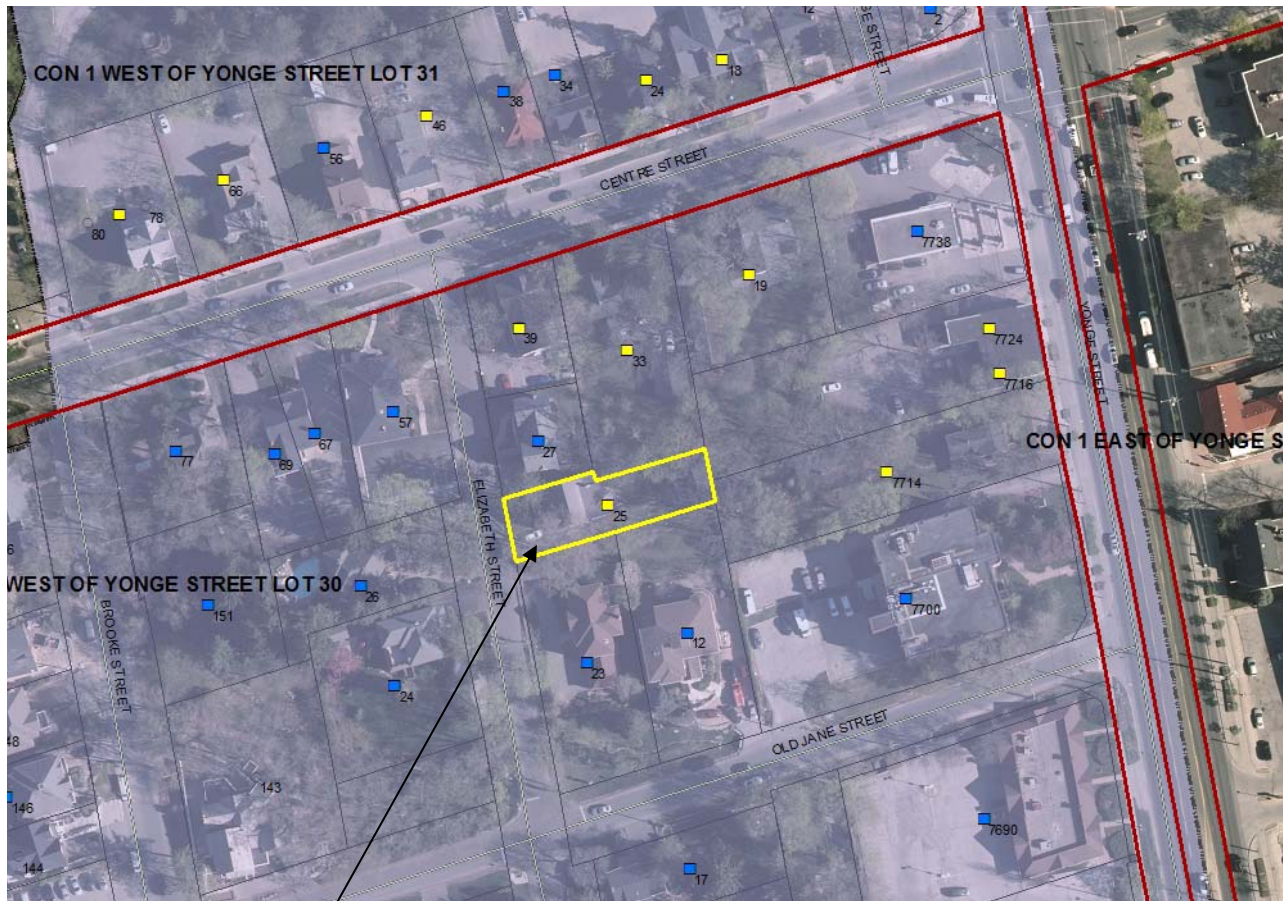
1. 25 Elizabeth Street, Location Map, Main House, Cottage at rear of property
2. Proposed Site Plan
- 3-7 Summary of proposed work submitted by consultant
8. Proposed Plan
9. Proposed West elevation
10. Proposed South elevation
11. Proposed North elevation
12. Proposed East elevation
13. Proposed description submitted by Paul Oberst Architect
- 14-18 Photos, Sept. 18, 2013

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Attachment 1



25 Elizabeth Street
Location Map

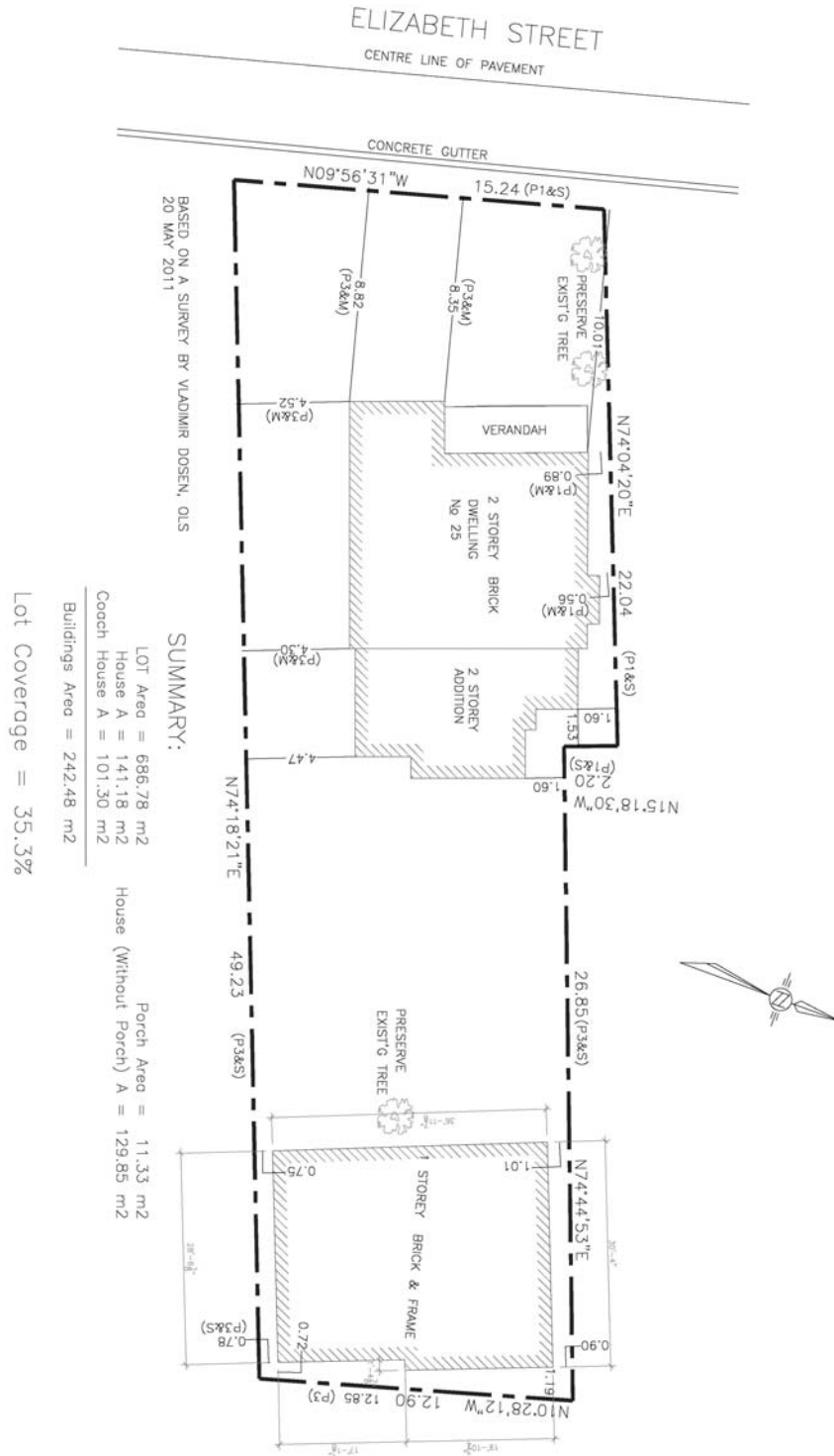


Main House

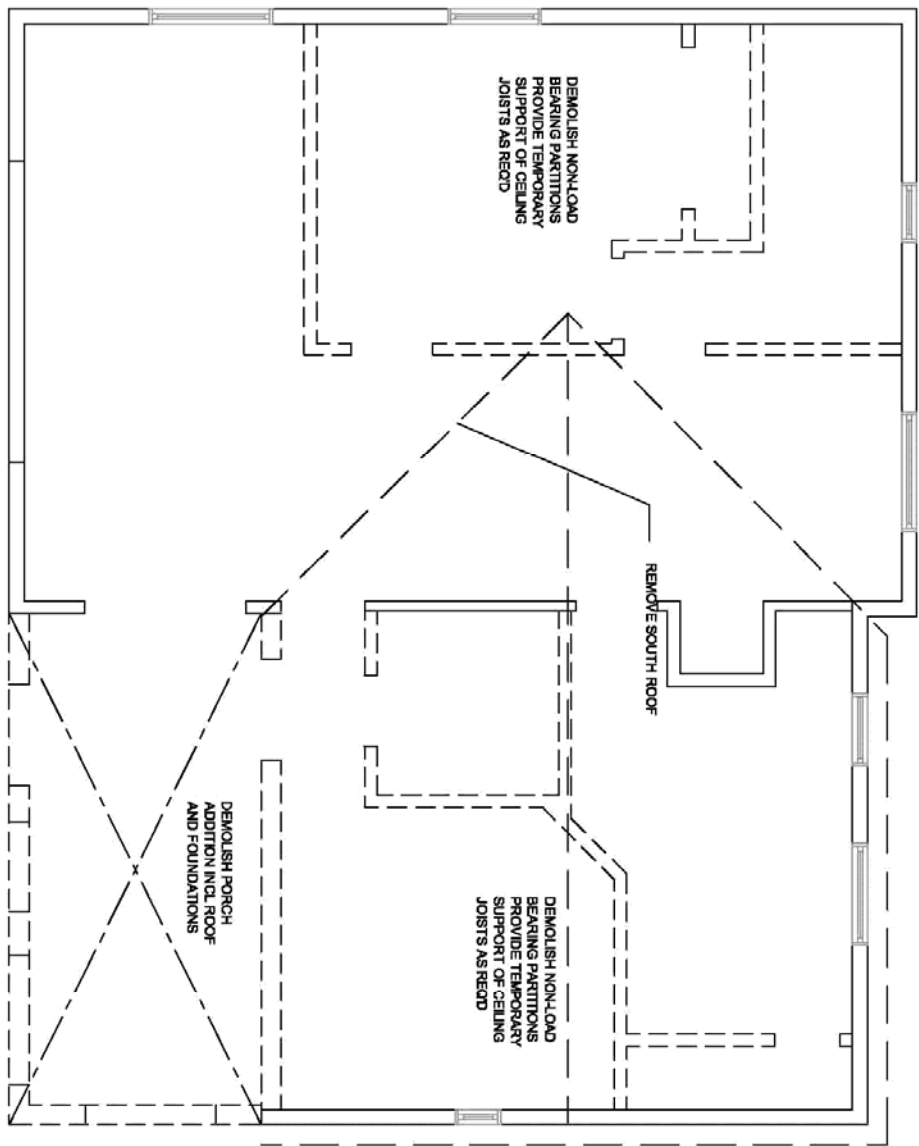


Cottage at rear of property

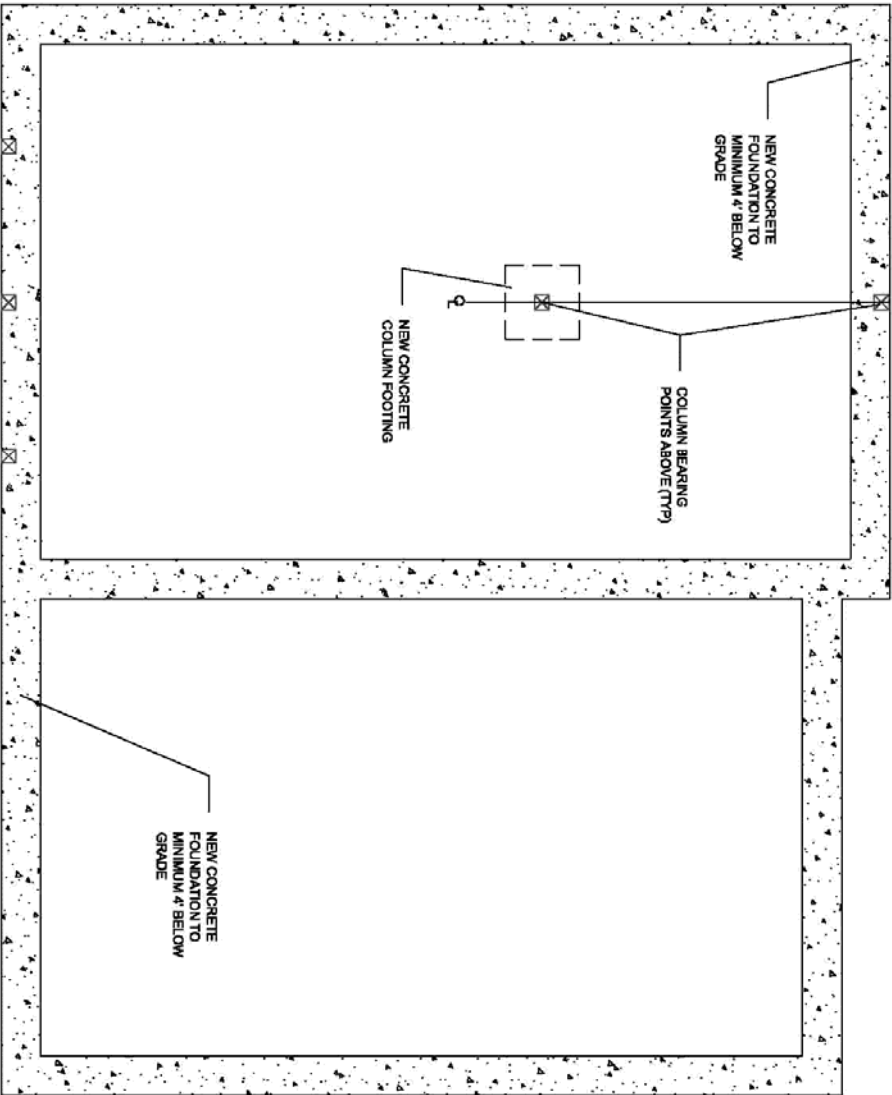
Attachment 2



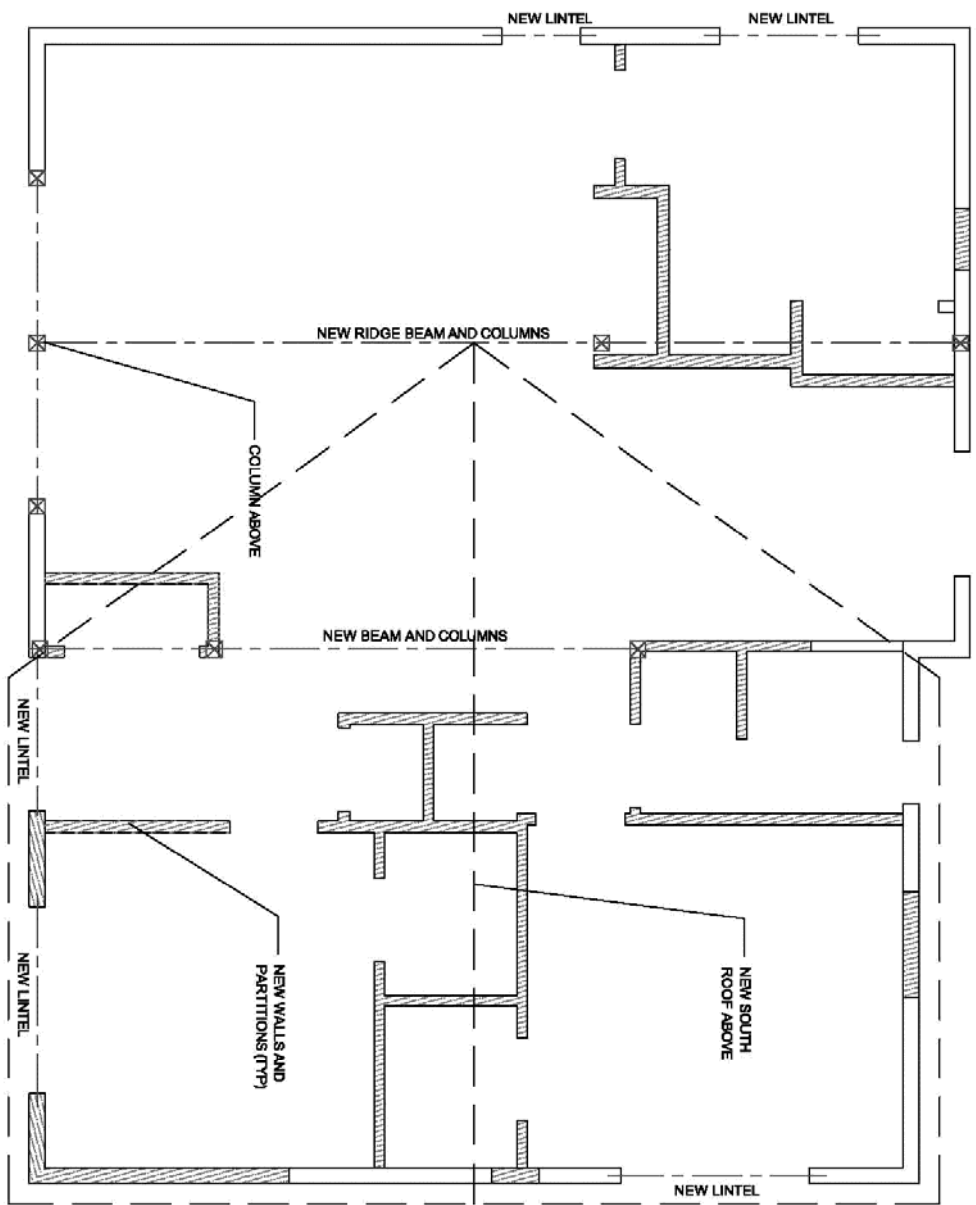
Proposed Site Plan



- 1. DEMOLISH PORCH ADDITION;
REMOVE SOUTH ROOF, PROVIDING BRACING AS REQUIRED;
- DEMOLISH NON-LOAD BEARING PARTITIONS AS SHOWN;
PROVIDE TEMPORARY SUPPORT OF CEILING JOISTS AS REQUIRED;
- REMOVE FINISHES TO REDUCE WEIGHT;
- PROVIDE BRACING AND SHORING;
LIFT BUILDING FOR ACCESS TO CONSTRUCT NEW FOUNDATIONS

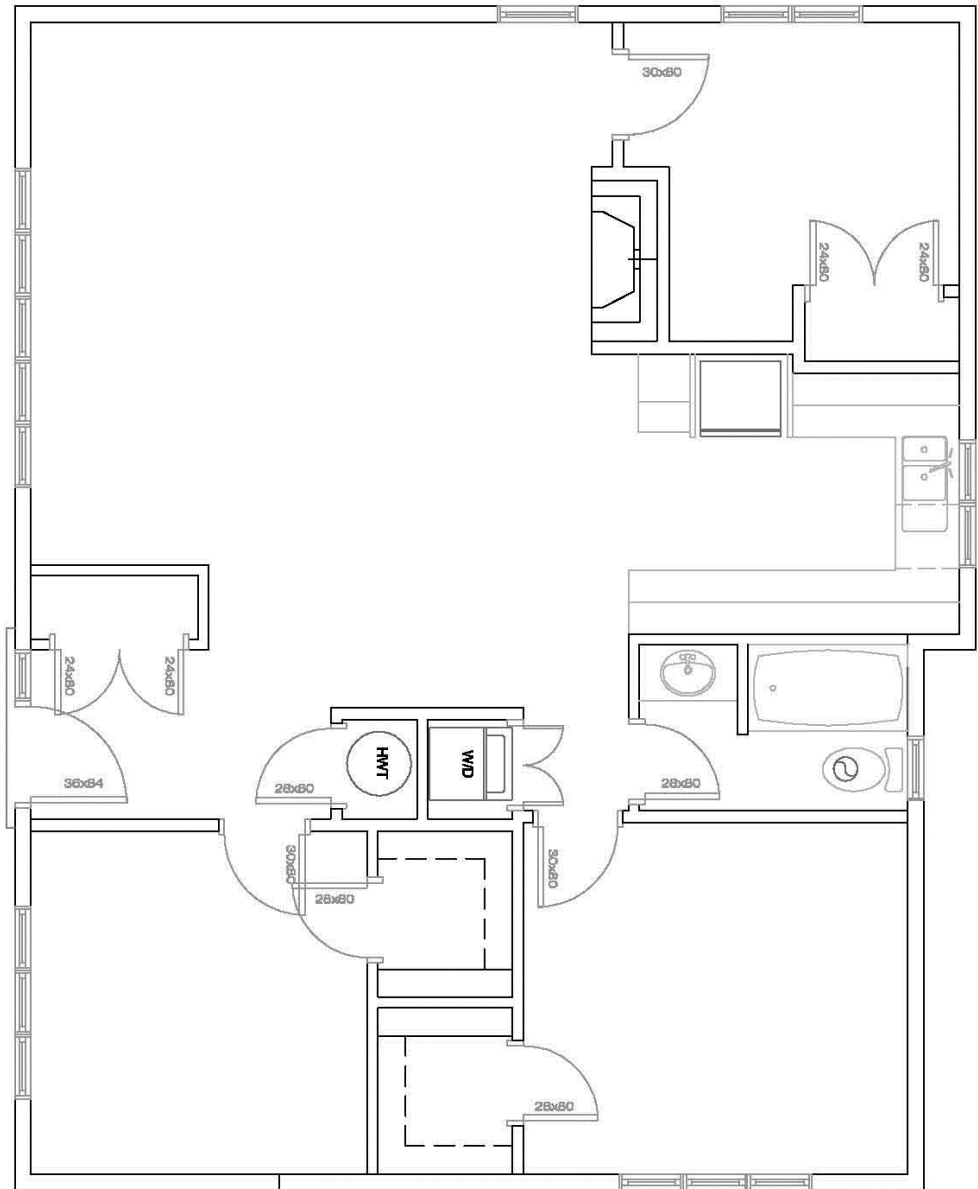


2. EXCAVATE FOR NEW FOUNDATION TO DEPTH OF 4' MINIMUM BELOW GRADE;
CONSTRUCT NEW FOUNDATION WALLS AND COLUMN FOOTING;

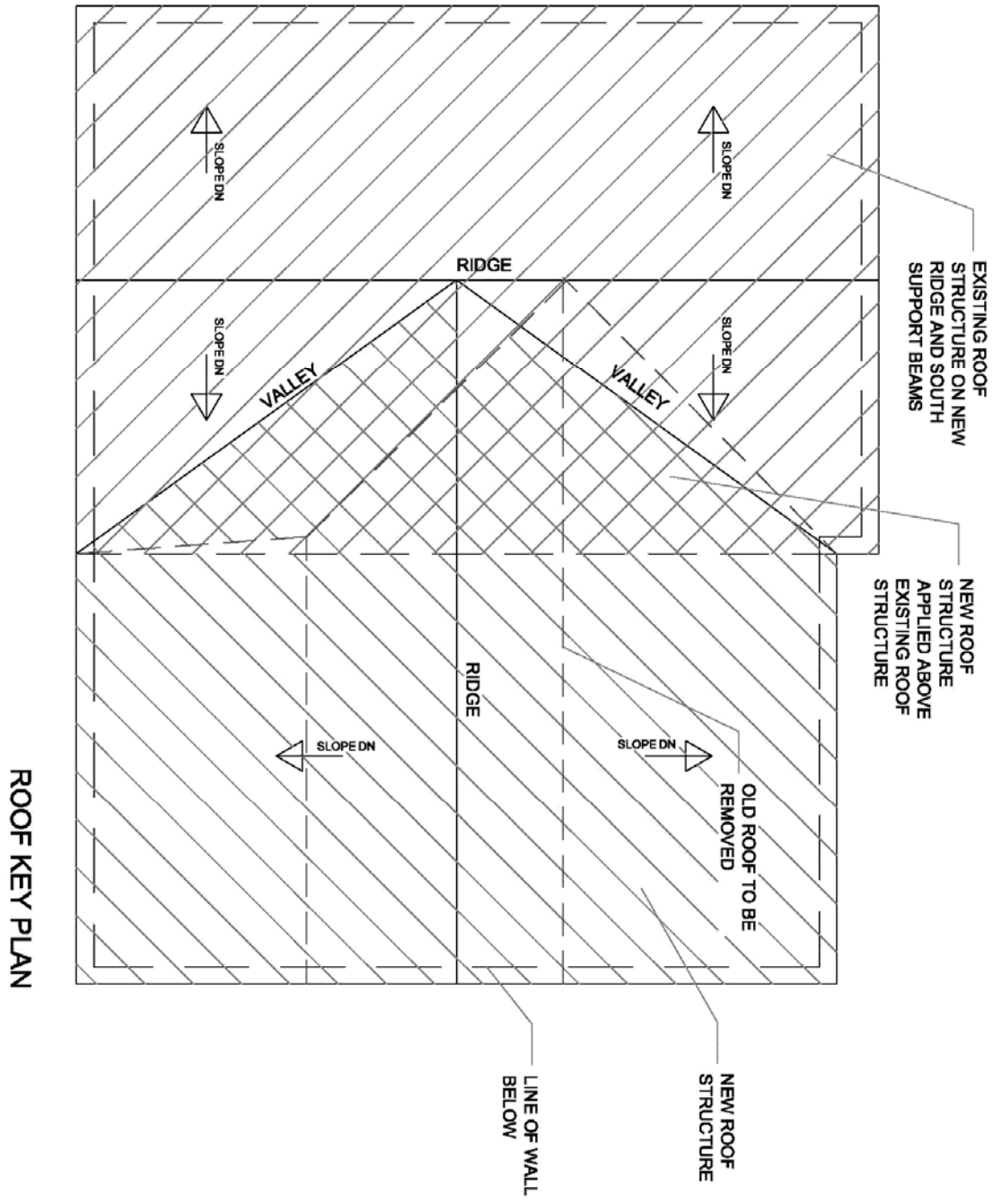


- 3. SET BUILDING ONTO NEW FOUNDATION;
- INSTALL NEW STRUCTURAL COLUMNS AND BEAMS;
- CONSTRUCT NEW WALLS AND PARTITIONS;
- FILL IN EXISTING OPENINGS AS SHOWN;
- CREATE NEW OPENINGS AS SHOWN;
- INSTALL NEW SOUTH ROOF.

Attachment 6

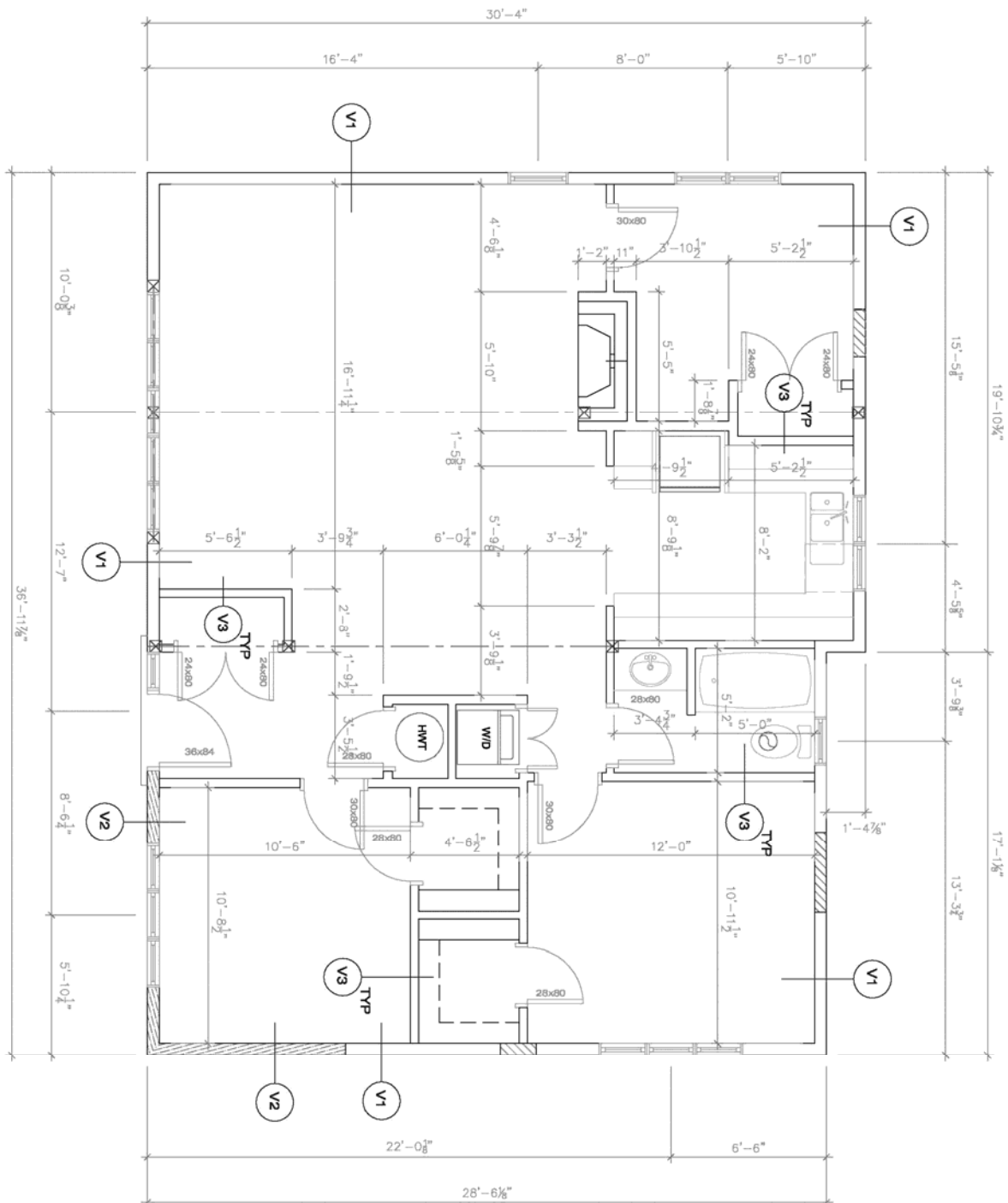


4. COMPLETE CONSTRUCTION:
INSTALL THERMAL INSULATION
SYSTEM;
INSTALL PLUMBING, ELECTRICAL
AND HVAC SYSTEMS;
INSTALL DOORS AND WINDOWS;
INSTALL INTERIOR AND EXTERIOR
FINISHES;
INSTALL ALL FIXTURES AND
FITTINGS.

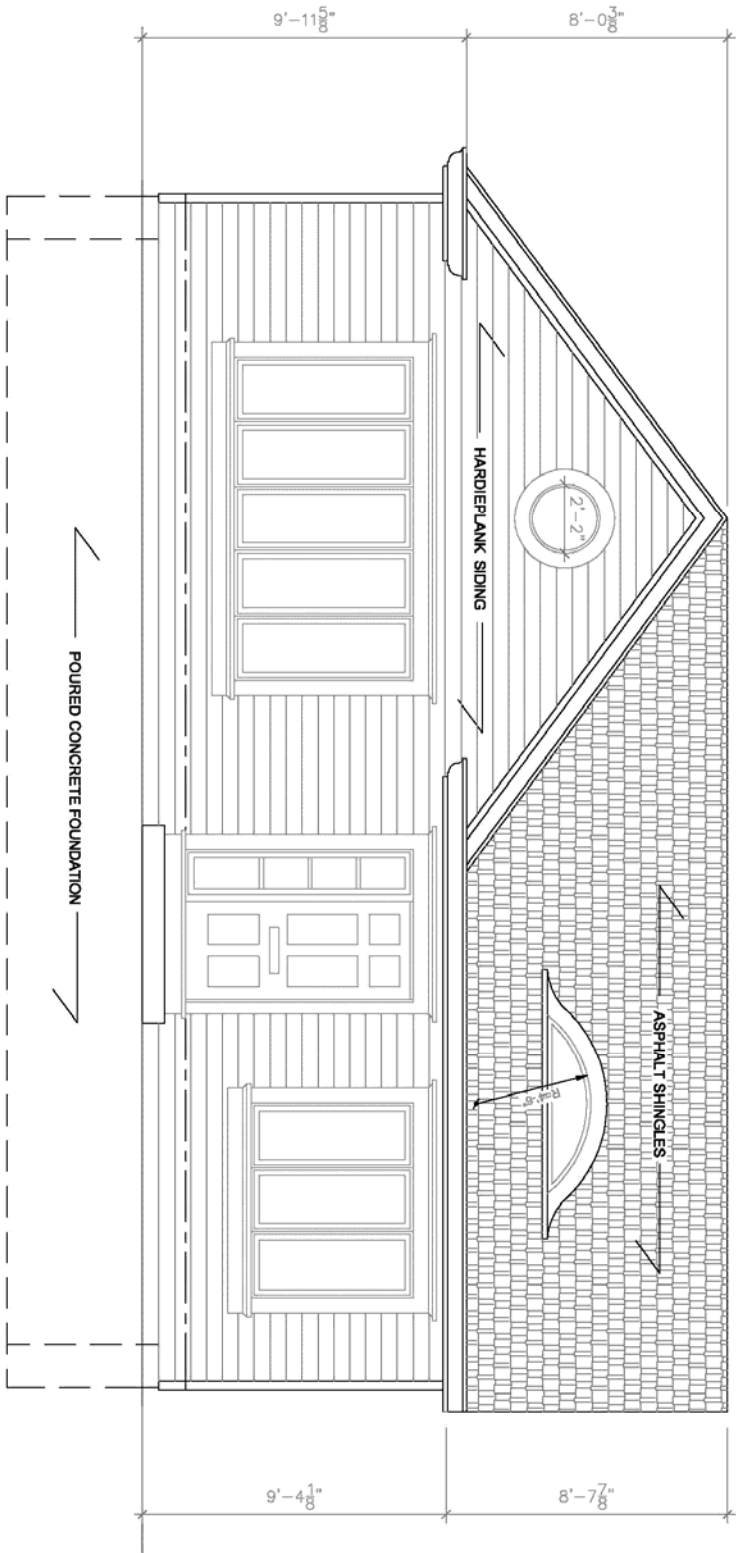


Summary of proposed work submitted by consultant

Attachment 8

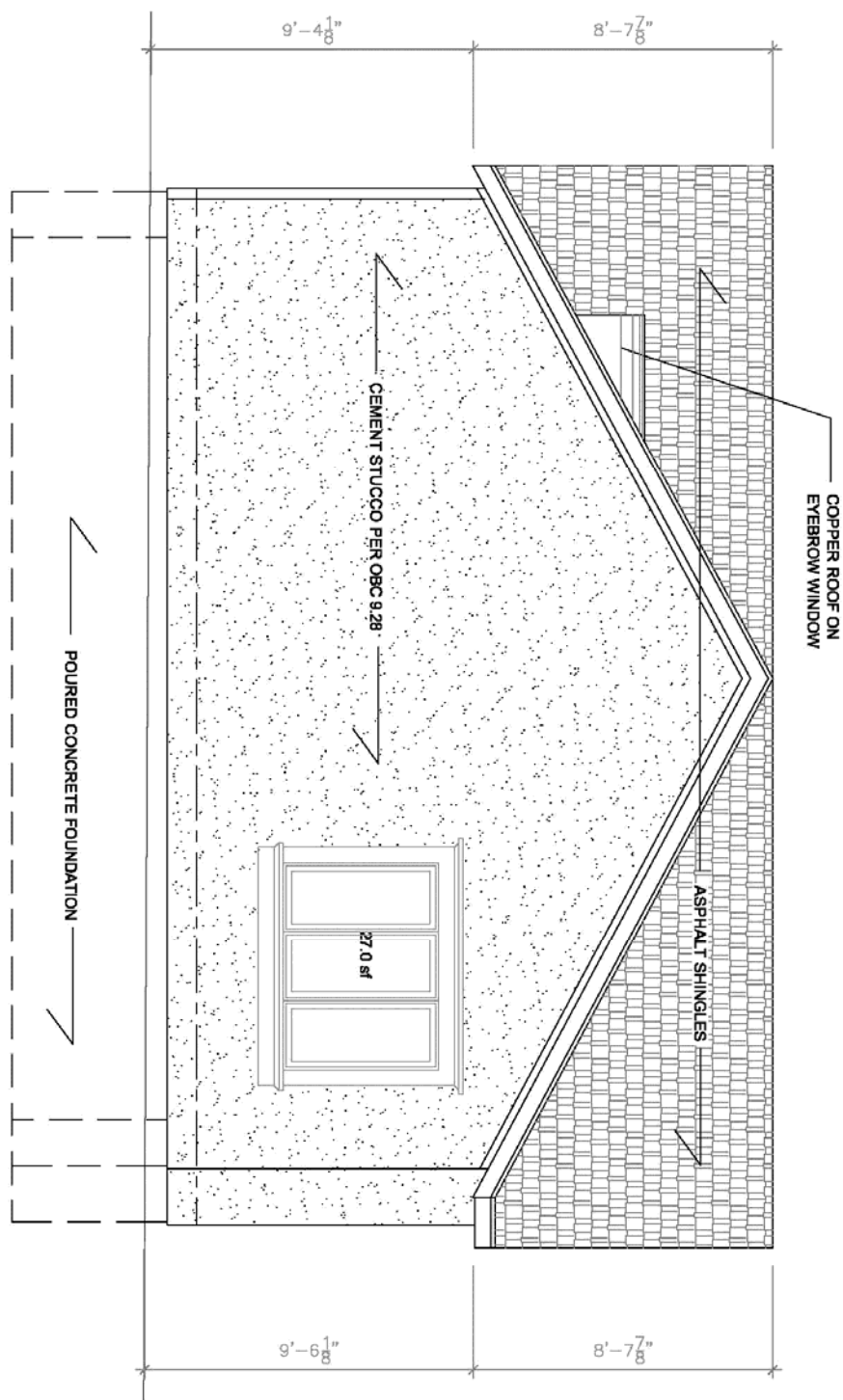


Proposed Plan

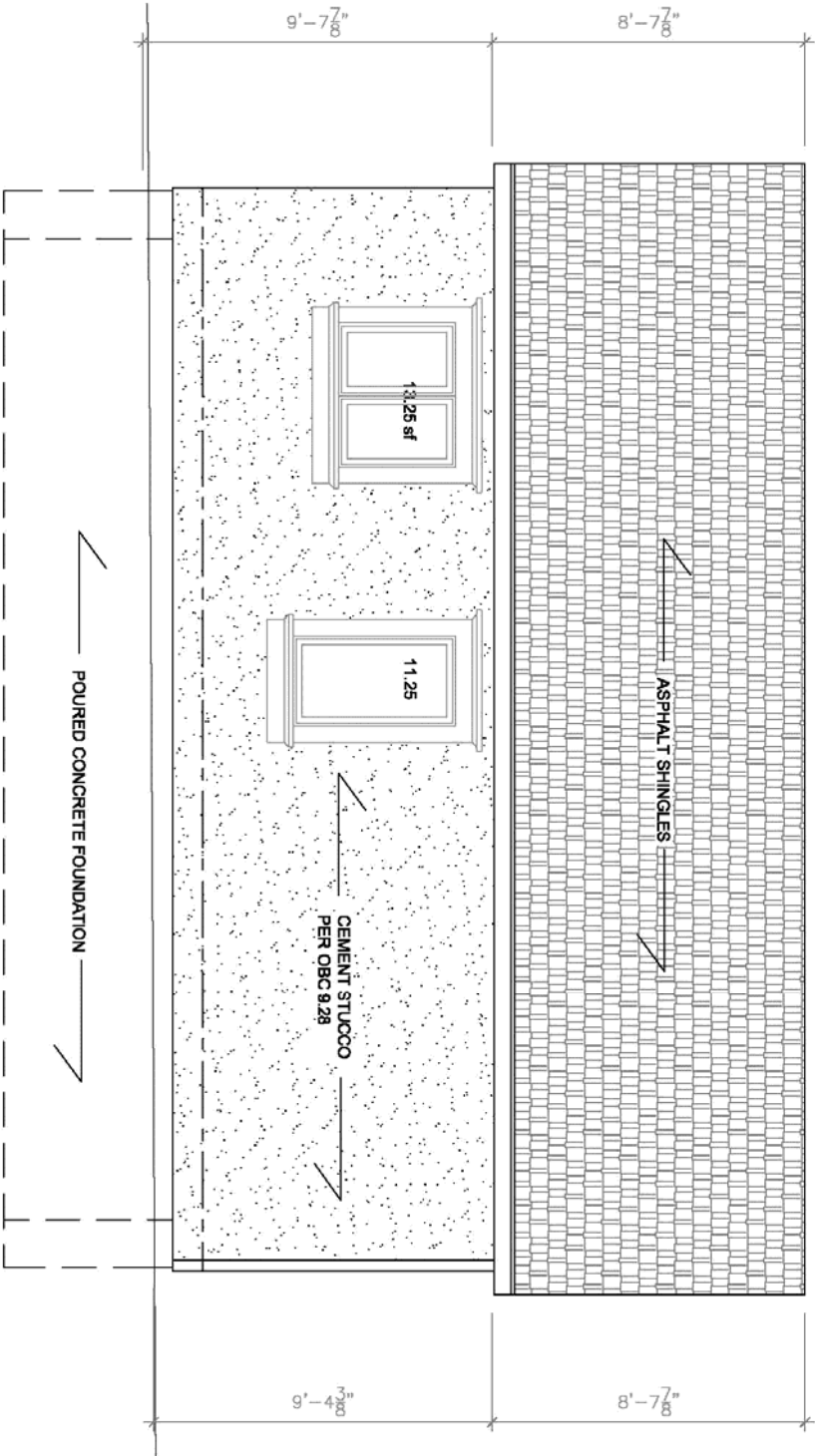


Proposed drawings

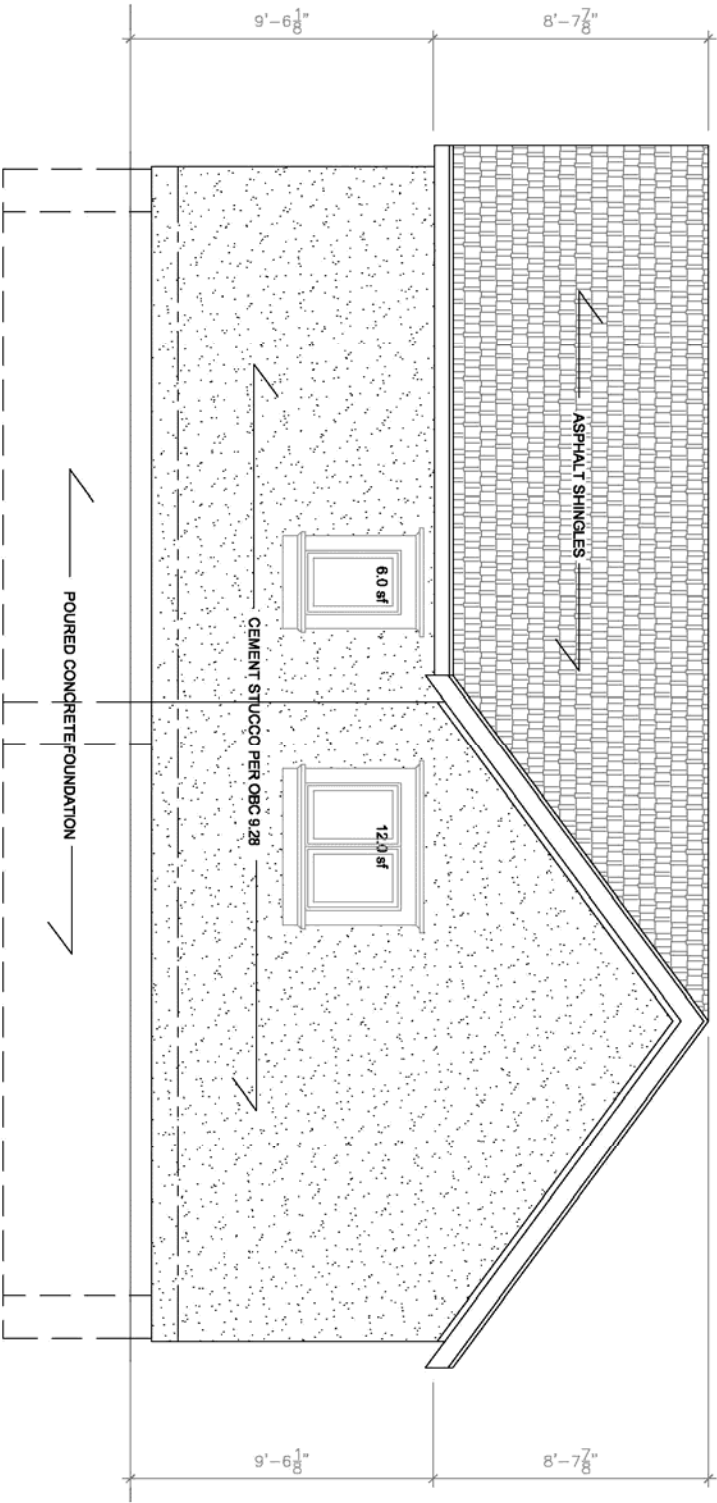
Proposed West elevation



Proposed South elevation



Proposed North elevation



Proposed East elevation

**25 Elizabeth Street Coach House
PROJECT DESCRIPTION**

The Project involves the exterior and interior renovation of the original building on the property, which is believed to date from the 1920s.

We believe the building was constructed as a simple frame L-plan summer cottage, from the time when Thornhill was something of a vacation destination. The fact that the footings are extremely shallow and the wood framing is very close to grade indicate that it was originally intended for casual, rather than permanent, use.

As a result of this construction, the building has suffered from the elements over its 90-year life. The footings have suffered from frost heave and some of the timbers are suffering from rot where they are close to grade. These deficiencies require correction. Provision of a proper foundation is the first priority.

A basic outline of the steps necessary to execute the project are outlined below, and illustrated by the plans found on sheet A1 of the drawings.

1. The house will need to be shored and lifted in order to gain access for excavation and installation of the new foundations. The brick porch will be removed at this time, as well as the roof on the south wing of the original building. In order to lighten the structure prior to lifting, non-loadbearing partitions and interior and exterior finish will be removed. In order to stabilize the structure prior to lifting, temporary bracing and shoring will be provided.

Note: Design, details, and field review for shoring, bracing, and lifting to be performed by a structural engineer in good standing with the Professional Engineers of Ontario (POE).

2. A new foundation is to be excavated and poured, as shown and detailed in the foundation drawings.

3. The building is to be set on the new foundation. New exterior walls and interior partitions are to be constructed, and existing opening that are scheduled to be closed are to be filled in. New and enlarged openings are to be created, with lintels installed as shown in the drawings. New exterior sheathing is to be installed. A new roof, which will include the area previously covered by the flat roof of the porch, is to be installed. A schematic roof plan is provided at the lower right of sheet A1 of the drawings, showing the revisions to the building roof.

Note: Examination of existing timber for rot, and recommendations for replacements and/or sistering of members to be performed by a structural engineer in good standing with the Professional Engineers of Ontario (POE).

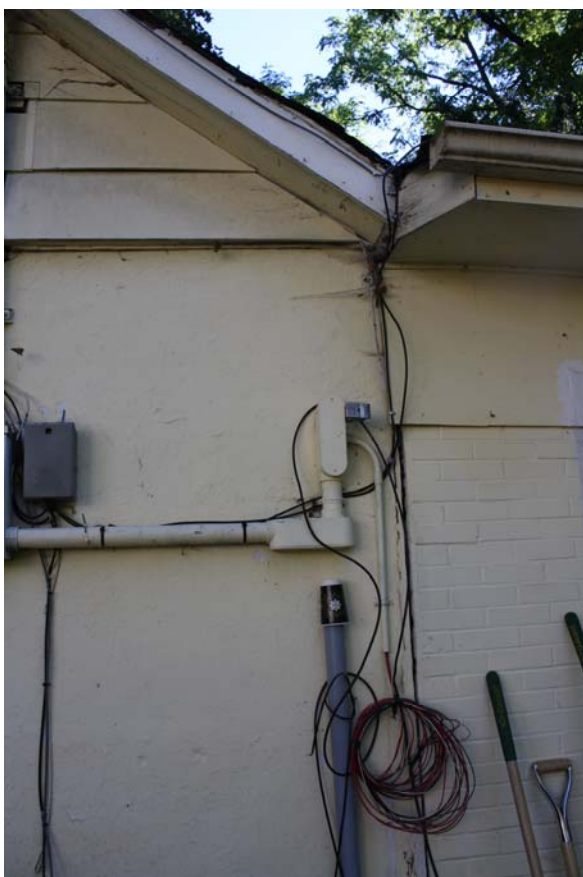
4. Construction is to be completed including installation of insulation, plumbing, electrical, and hvac systems; doors and windows; exterior and exterior surfaces and finishes; fixtures, fittings, and cabinetry.

Attachment 14



Photos, Sept, 18, 2013
Top: West side
Bottom R: South side
Bottom L: North side

Attachment 15



Bottom L:

Photos, Sept, 18, 2013
Top R: South side
Top L: East side
Bottom L: East side detail



North-east corner foundation at framing condition.



West elevation: foundation at framing condition.



North section interior attic.



North section attic, tongue and groove floor boards.

Attachment 18



Interior views