

HERITAGE VAUGHAN COMMITTEE –NOVEMBER 21, 2012

5. 8100 KIPLING AVENUE – HERITAGE REVIEW OF PROPOSED NEW CONSTRUCTION AND DEMOLITION OF EXISTING STRUCTURES – WARD 2

Recommendation

Cultural Services staff recommends:

1. That Heritage Vaughan approve the demolition of the existing building at 8100 Kipling Avenue.
2. That Heritage Vaughan approve the proposal for the new development subject to the following condition:
 - 1) Proposed building materials will require review by Cultural Services staff.
3. The applicant is to be advised that if there are any changes as a result of addressing issues from review by other departments, a new submittal for review for the Heritage Vaughan Committee may be required and any previous approval granted may be deemed invalid based on the new information provided.

Contribution to Sustainability

This report is consistent with the priorities previously set by Council in the Green Directions, Vaughan, Community Sustainability Environmental Master Plan, Goal 4, Objective 4.1:

- To foster a city with strong social cohesion, an engaging arts scene, and a clear sense of its culture and heritage.

Economic Impact

N/A

Communications Plan

All agenda items and minutes relating to Heritage Vaughan committee meetings are circulated to relevant City departments, applicants and their representatives.

Purpose

To review the following report prepared by Cultural Services staff and approve the proposed demolition of existing structures and new development.

Proposal

The applicant is proposing to construct nine 3-storey townhouse blocks throughout the site. The architect has designed these buildings in the Victorian / Gothic Revival style with contemporary modifications. Demolition of existing non-contributing buildings will need to occur prior to development.

Background and Analysis

Background

The site is located within the Woodbridge Heritage Conservation District and is therefore Designated under Part V of the Ontario Heritage Act.

The site is located in the Kipling Avenue North and South Character Area.

The site is located on the West of Kipling Avenue, West of the CPR tracks between Woodbridge Avenue and Meeting House Road.

The site contains several buildings that were, until recently, part of a functioning lumberyard. These building are considered to be “non-contributing” to the Heritage Conservation District.

Analysis

1) Demolition of existing structures

6.3 Architectural Guidelines for New Buildings, Additions and Alterations

Within the heritage district new architecture will invariably be constructed. This will occur on vacant sites, as replacement buildings for non-contributing existing structures, or severely deteriorated older buildings.

Entirely new buildings may be proposed:

- *where no previous buildings existed or,*
- *where original buildings are missing or,*
- *where severely deteriorated buildings are removed through no fault of the current owner, or where non contributing buildings are removed.*

Comments:

This section supports new construction to replace non-contributing buildings. Therefore, Cultural Service’s support for the demolition of the existing structures is contingent upon plans to construct a new development that conforms to the Heritage Conservation District Guidelines.

2) Proposed Development

6.3 Architectural Guidelines for New Buildings, Additions and Alterations

The intention in creating designs for new buildings should not be to create a false or fake historic building. Instead the objective must be to create a sensitive well designed new structure “of its time” that is compatible with the character of the district and its immediate context. Designers of new buildings in the district should have a proven track record with the creation of designs in similar historic contexts.

The design of new buildings in the HCD should carefully consider requirements elsewhere in this document for density, scale, height, setbacks, coverage, landscape open space, view corridors, angular plane and shadowing. Further, character areas have been identified in the district. Each character area has identifiable characteristics including commercial mainstreet as opposed to residential, building scale, spacing, and setback, which should also be understood and respected.

Comments:

The applicant is proposing to construct nine 3-storey townhouse blocks throughout the site. The architect has designed these buildings in the Gothic Revival style with contemporary modifications.

The Gothic Revival style is an architectural style that is native to the Woodbridge Heritage Conservation District and the Kipling Avenue North and South Character Area. Nearby buildings 8109 Kipling, 8161 Kipling, and 8191 Kipling were also constructed in the Gothic Revival style.

Nonetheless, the massing of a townhouse is certainly “of its time” and was not historically a building typology for residential buildings in Woodbridge.

Working with the massing of a townhouse building, gables, projections, and indentations were used to create the appearance of several individual residential houses. From Kipling Avenue, the townhouse blocks will appear to be large Gothic Revival residential dwellings. The buildings will all be clad in brick with stringcourses, arches, sympathetic sash windows, transom windows above the doorways and garages, board and batten gable detail, two-storey veranda porches, and pedimented entranceways. Following recommendations from Urban Design, the architect has created three separate blocks that will be assorted throughout the development for variety. As such, each of the three blocks will have its own architectural details and building materials.

6.4 Built Form Framework

6.4.1 Street Wall Setbacks

6.4.1.1 Woodbridge HCD (General)

Guidelines

(See Section 6.5: Transitions of New Buildings in Relation to Heritage Resources)

- 1. The historic setbacks of contributing buildings should be maintained and contributing buildings should not be relocated to a new setback line. New buildings must be sympathetic to the setbacks of adjacent contributing buildings.*
- 2. When new buildings are located adjacent to existing contributing buildings that are set back from the property or street line, new buildings should transition back to the setback line of existing contributing buildings in order to maintain open views and vantage points from the street to the contributing buildings.*
- 3. Existing contributing buildings should retain their historic setbacks, and create front landscaped courtyards built on the “green” character of Woodbridge’s streetscapes.*
- 4. Except where noted, new buildings must follow the City of Vaughan Zoning Bylaw in regard to side yards, back yards, interior yards and exterior yards.*
- 5. All buildings must have active uses facing the street. No building shall have a blank wall facing a street or public space.*
- 6. Retail is recommended as the predominant use at grade along Woodbridge Avenue, especially between Wallace Street and Clarence Avenue, to encourage an animated street character.*

6.4.1.3 Kipling Avenue North and South (CA)

Guidelines

- 1. New development should be set back a minimum of three metres from the property line and a maximum of 4.5 metres to maintain the deep setback character of contributing buildings, and allow for landscaped front yards.*

Comments:

As the site is separated from Kipling Avenue by the CPR tracks, there is no actual frontage on Kipling Avenue. However, all of the blocks within the development front on the street, as directed in the District Guidelines. Similarly, the majority of setbacks fall between 3metres and 4.5metres, as directed. In some cases throughout the development, the setback is smaller than 3metres, however, these are primarily side yard setbacks and the District Guidelines are concerned primarily with front yard setbacks. Furthermore, Porter Avenue is the only street with a sidewalk and is expected to have a pedestrian presence. The other streets function as internal streets for car access and emergency services access.

6.4.2 Street Wall Height and Scale

6.4.2.1 Woodbridge HCD (General)

Guidelines

- 1. Except where noted, new buildings should be a minimum of 2 floors (8.5 m) and a maximum of 3 floors (11 m).*
- 2. The height of existing contributing buildings should be maintained. New buildings must be sympathetic to, and transition from, the height of adjacent contributing buildings, with a minimum 45 degree angular plane.*

Comments:

The proposed development is 11metres in height throughout (measured from the middle of the roof, as directed on page 87 of the District Guidelines). This height is appropriate and will transition well with the neighbouring 3-storey church.

Relationship to Vaughan Vision 2020/Strategic Plan

In consideration of the strategic priorities related to Vaughan Vision 2020, the report will provide:

- STRATEGIC GOAL:
Service Excellence - Providing service excellence to citizens.
- STRATEGIC OBJECTIVES:
Preserve our heritage and support diversity, arts and culture.

This report is consistent with the priorities previously set by Council, and the necessary resources to implement this program have been allocated and approved.

Regional Implications

N/A

Conclusion

The proposed demolition of existing structures is acceptable as the structures are non-contributing buildings and the site will be replaced by a new development.

The proposed new development of 9 townhouse blocks conforms to the Woodbridge Heritage District Guidelines and is found to be acceptable by Cultural Services staff.

Attachments

1. Existing structure.
2. Site plan of proposed development.
3. Proposed development elevation A.
4. Proposed development elevation B and C.
5. Proposed development, Kipling Avenue elevation.
6. Proposed development, Porter Avenue West elevation

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Recreation and Culture Department



Figure 1 – existing structure

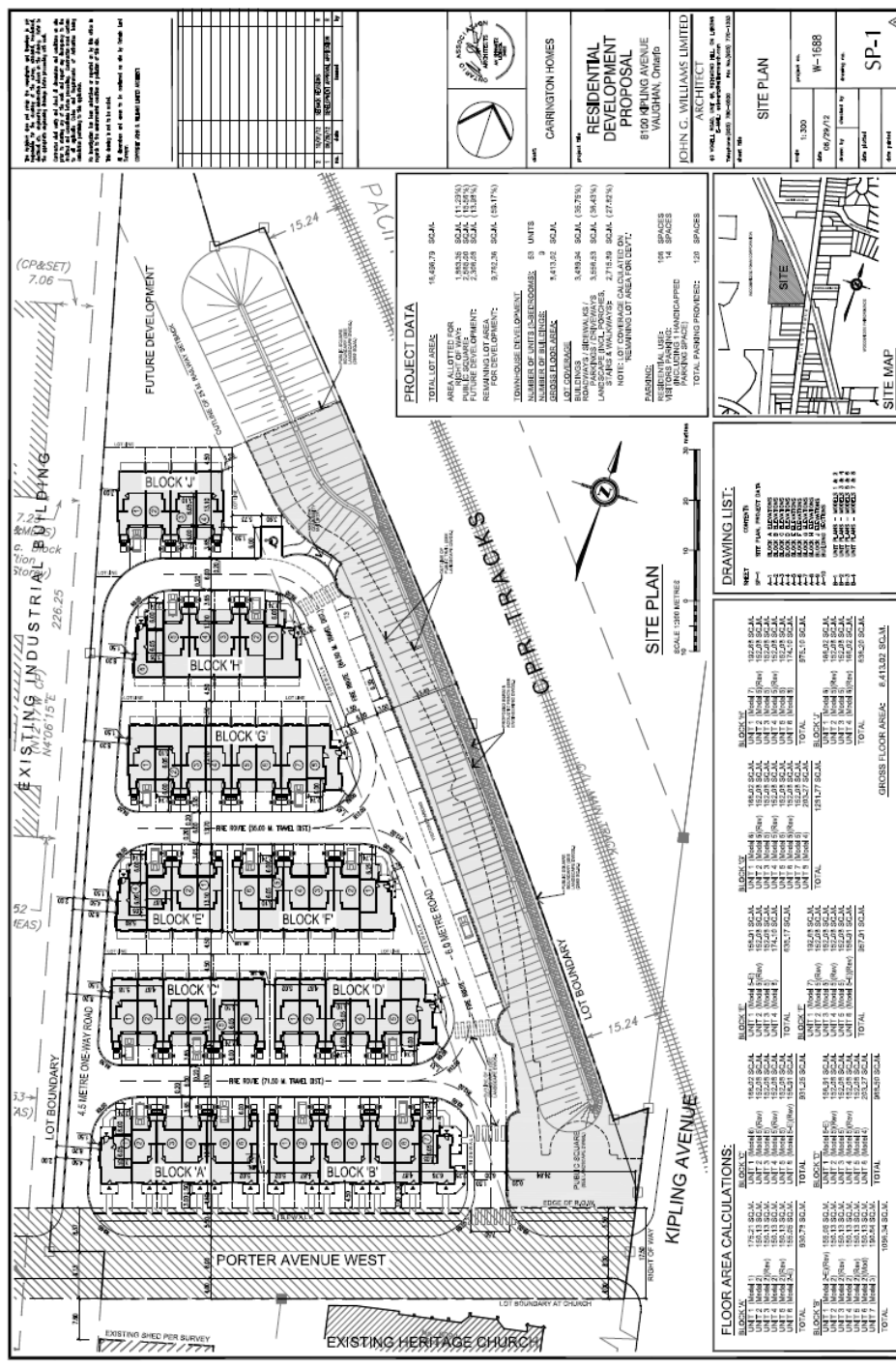


Figure 2 – site plan of proposed development



BLOCK ELEVATION 'A'

CARRINGTON HOMES
8100 KIPLING AVENUE, VAUGHAN
Project no.: W-1688

1"=6' SCALE 24 OCTOBER 2012
JOHN G. WILLIAMS LIMITED, ARCHITECT
46-40 VIOLETT ROAD, RICHMOND HILL, ONTARIO, L4B 1N6
TEL: (905) 709-0500 FAX: (905) 709-9536

Figure 3 – proposed development, elevation A



BLOCK ELEVATION 'B'

CARRINGTON HOMES
8100 KIPLING AVENUE, VAUGHAN
Project no.: W-1688

1"=6' SCALE 24 OCTOBER 2012
JOHN G. WILLIAMS LIMITED, ARCHITECT
46-40 VIOLETT ROAD, RICHMOND HILL, ONTARIO, L4B 1N6
TEL: (905) 709-0500 FAX: (905) 709-9536

Figure 4 - proposed development, elevation B



BLOCK ELEVATION 'C'

CARRINGTON HOMES
8100 KIPLING AVENUE, VAUGHAN
Project no.: W-1688

1/4" = 1/8" SCALE 24 OCTOBER 2012

JOHN G. WILLIAMS LIMITED, ARCHITECT
46-48 VOGEL ROAD, RICHMOND HILL, ONTARIO, L4B 3N6
TEL. (905) 709-0500 FAX (905) 709-0536

Figure 5 - proposed development, elevation C

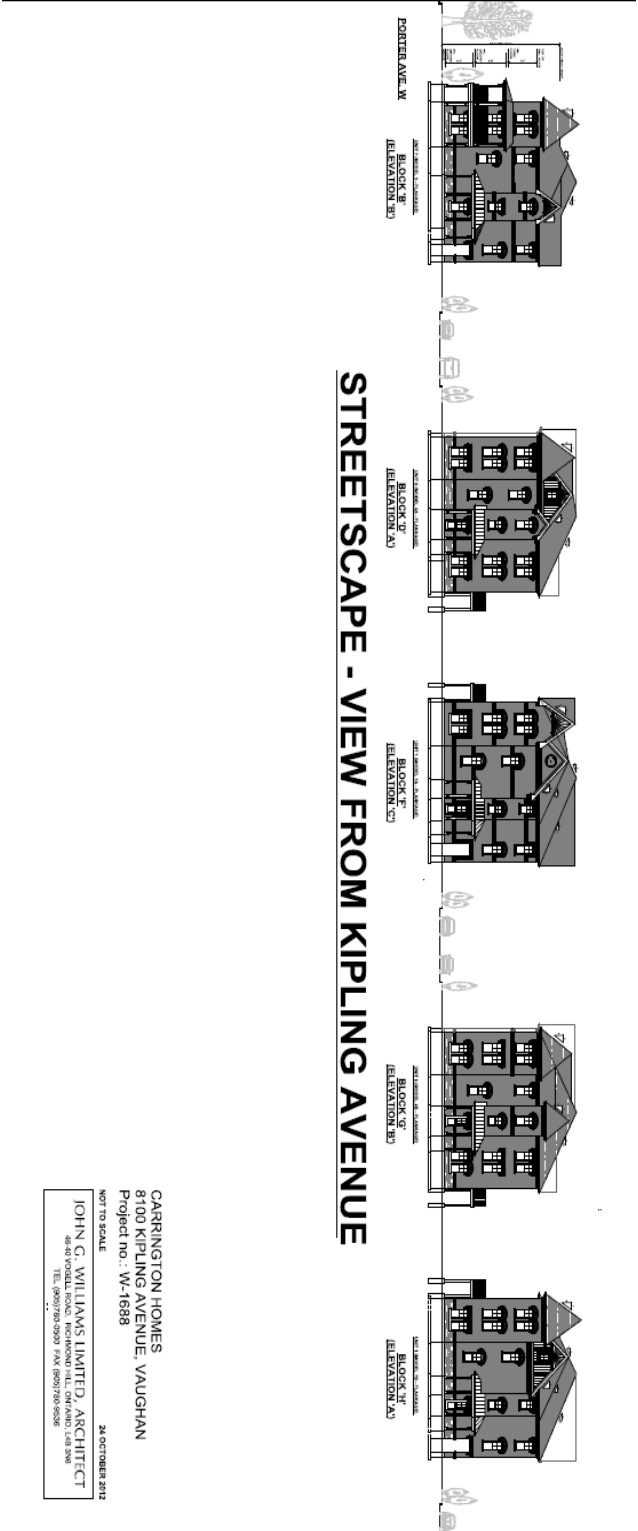


Figure 6 – proposed development, Kipling Avenue elevation

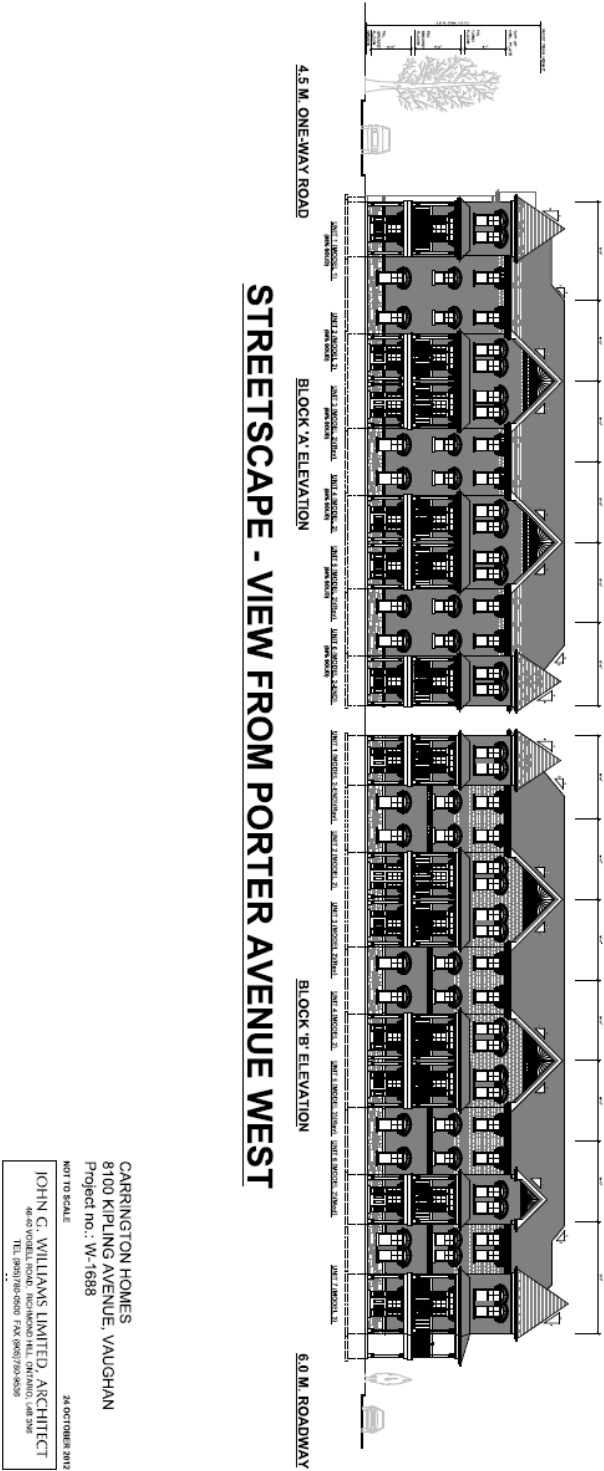


Figure 7 – proposed development, Porter Avenue West elevation