

8222- 8248 KIPLING AVENUE – HERITAGE REVIEW OF PROPOSED NEW TOWNHOMES, NEW SINGLE FAMILY HOME, TWO SEMI-DETACHED HOMES AND DEMOLITION OF EXISTING STRUCTURES AT 8222 AND 8234 KIPLING AVENUE – WARD 2

Recommendation

- 1). That Heritage Vaughan approve the elevation drawings for the development as presented for the proposed new construction and the demolition of 8222, 8234 and 8246 Kipling Avenue with the following conditions:
 - i. That final measured architectural drawings be submitted to Cultural Services for review and approval for the detached and semidetached structures proposed on 8222 and 8238 Kipling respectively; and;
 - ii. That the applicant submit material samples for review and approval by Cultural Services staff when these are available; and,
 - iii. That the applicant submit two sets of final architectural drawings for Cultural Services' review, incorporating any required revisions, in order to process a Heritage Permit; and,
 - iv. That should the proposed design changes as a result of addressing issues from the review by other departments, a new submission for review by the Heritage Vaughan Committee may be required and any previous approval granted may be deemed invalid based on the new information provided; and,
 - v. That the proponent understand that Heritage Vaughan Committee approvals do not constitute specific support for any variances, permits or requirements by other City reviewing bodies, that may be sought in the future by the applicant as it relates to the subject application.

Contribution to Sustainability

This report is consistent with the priorities previously set by Council in the Green Directions, Vaughan, Community Sustainability Environmental Master Plan, Goal 4, and Objective 4.1:

- To foster a city with strong social cohesion, an engaging arts scene, and a clear sense of its culture and heritage.

Economic Impact

N/A

Communications Plan

All agenda items and minutes relating to Heritage Vaughan committee meetings are circulated to relevant City departments, applicants and their representatives.

Purpose

To consider the background and analysis portions of this report in order to review the request for construction of a new townhouse subdivision, proposed semi and detached structures along Kipling Avenue and demolition of structures as noted in the report, within the Woodbridge Heritage Conservation District.

Background - Analysis and Options

The subject lands contain six properties at 8222, 8228, 8234, 8238, 8246 and 8248 Kipling Avenue. The lands are Designated under Part V of the under the Ontario Heritage Act as they are located within the Woodbridge Heritage Conservation District.

- 8228 Kipling Avenue is a Registered Property under Part IV, Section 27 of the Ontario Heritage Act and identified as a contributing property to the Woodbridge Heritage District character in the Woodbridge Heritage Conservation District Plan.
- 8238 and 8248 Kipling Ave. are identified as contributing properties to the Woodbridge Heritage District character in the Woodbridge Heritage Conservation District Plan.
- 8222, 8234 and 8246 Kipling Avenue are identified as non-contributing properties to the Woodbridge Heritage District character in the Woodbridge Heritage Conservation District Plan.

All new construction, additions, demolitions and changes to the exterior of buildings within the subject properties will require approval of a Heritage Permit application in addition to other City permits such as Building Permits or Planning Application approvals.

Proposed changes to properties designated within heritage conservation districts must be in keeping with the heritage character of the building, the historical streetscape and must be in conformance with the heritage district plan and design guidelines.

The applicant has been working with his architect and Cultural Services staff in order to design a development inspired on the Edwardian style which is existing within the Heritage Conservation District. The proponent has submitted an Official Plan, Zoning Amendment and Draft Plan of subdivision applications for review for which the Cultural Services Division is required to comment, thereby triggering the Heritage Review Process with Heritage Vaughan Committee Review.

Analysis

The subject proposal deals with 6 properties within the Heritage Conservation District: 8222, 8228, 8234, 8238, 8246, 8248 Kipling Avenue. It proposes the incorporation of three contributing structures as identified in the Heritage Conservation District, including the Edwardian home at 8228 Kipling Avenue which is a Registered building under the Ontario Heritage Act.

The site plan layout proposes to demolish three existing structures: 8222, 8234 and 8246 Kipling Avenue and two accessory garage or town barn structures, one located at the rear of 8228 Kipling and the other at 8248 Kipling. These buildings are identified as non-contributing in the Woodbridge Heritage Conservation District guidelines and the accessory structures are not included in the inventory. The non-contributing structures include a Victory house, dating from c. mid 1940's to 1950, a modern contempo style c. mid 1950 to 1960 bungalow, and a modern contempo style c. 1960 bungalow respectively. All existing detached garage structures are proposed to be demolished.

Cultural Services has reviewed the Heritage Impact Assessment submitted prepared by The Landplan Collaborative Limited, and is satisfied that the structures have been researched and documented to the extent necessary by the applicant and concurs with their recommendation that the garage/town barn structures are not in good condition. Their main contributing aspect is that they are one and a half to 2 storeys, gabled detached structures that once served a horse and buggy community. Given their condition at this time it is recommended that they can be replaced in the same spirit with new garage detached structures that would contribute to the Woodbridge Heritage District character, as proposed.

The proposed buildings facing Kipling Avenue are planned to follow the massing, material palette and elevation composition of the Edwardian style of adjacent buildings, however allowing for a respectful and understated, subservient contemporary interpretation, such as the window design on the ground floor. This is in line with the Heritage Conservation District Guidelines.

The design of the townhouses on the back are respectful of the distances required between existing contributing structures and infill construction as required in the Woodbridge Heritage Conservation District Guidelines, as well as being within the 11metres height limit required. The design is also inspired in the Edwardian designs in the Kipling Avenue character area.

The proposal includes pedestrian connection by way of a continuous sidewalk within the subdivision, as well as providing a green space for the new community.

The proposal generally complies with the requirements on the Woodbridge Heritage Conservation District Plan and Guidelines; therefore Cultural Services staff supports the proposal.

Relationship to Vaughan Vision 2020/Strategic Plan

In consideration of the strategic priorities related to Vaughan Vision 2020, the report will provide:

- STRATEGIC GOAL:
Service Excellence - Providing service excellence to citizens.
- STRATEGIC OBJECTIVES:
Preserve our heritage and support diversity, arts and culture.

This report is consistent with the priorities previously set by Council, however the necessary resources have not been allocated and approved.

Regional Implications

N/A

Conclusion

The report recommends that the proposed design be approved with the conditions as set out in the recommendation section of this report. Please refer to recommendation section of this report.

Attachments

1. Streetscape collage 8222- 8248 Kipling Avenue (1 image), private driveway (2 images) and 8228 Kipling Avenue (4 images)
2. 8228 Kipling Ave existing townbarn (6 images)
3. 8234 and 8246 Kipling Avenue and town barn/garage at 8248 Kipling Avenue
- 4 -18 Proposed architectural drawings and renderings

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Recreation and Culture Department

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Recreation and Culture Department

Attachment 1

Streetscape collage 8222- 8248 Kipling Avenue, private driveway (2 images) and 8228 Kipling Avenue



8228 Kipling Ave existing townbarn (6 images)

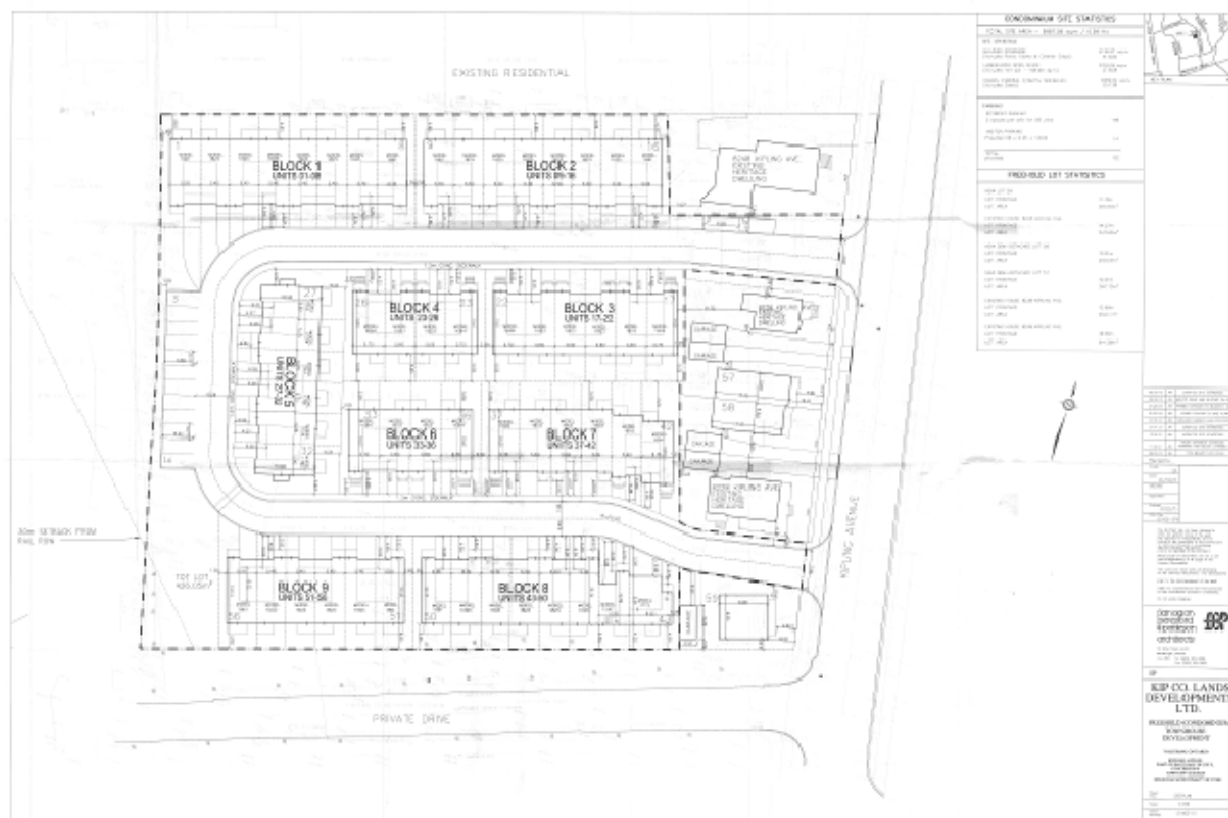


Attachment 3

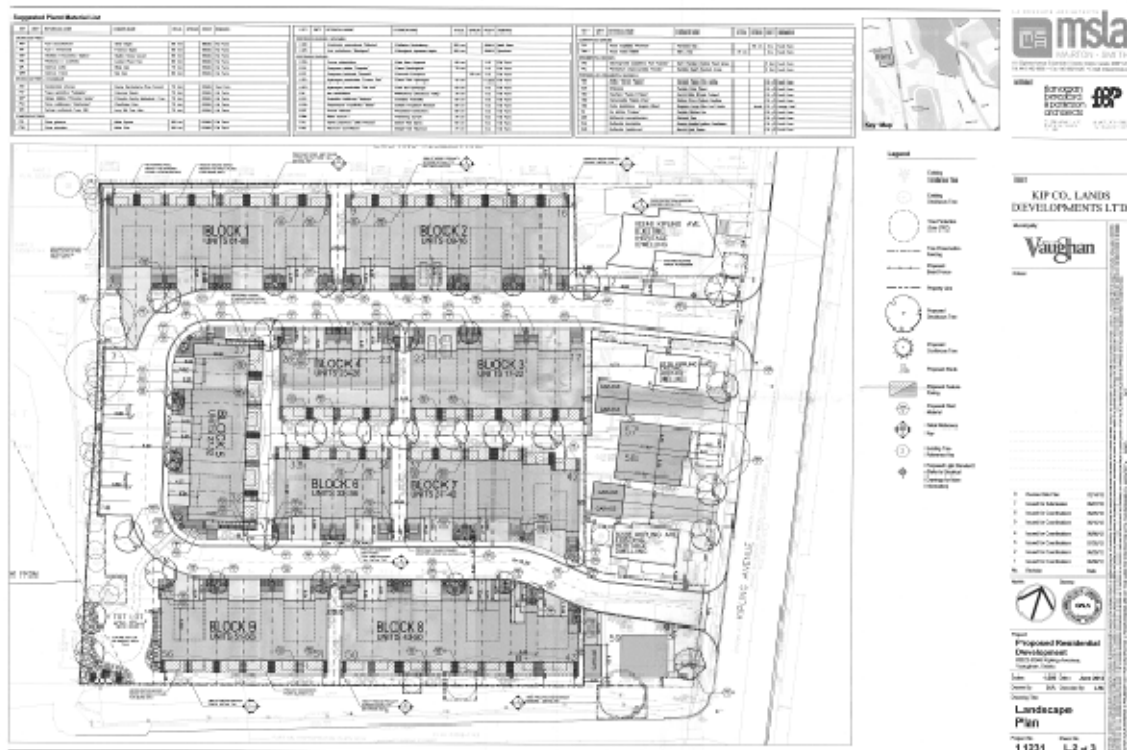


8234 and 8246 Kipling Avenue and town barn/garage at 8248 Kipling Avenue

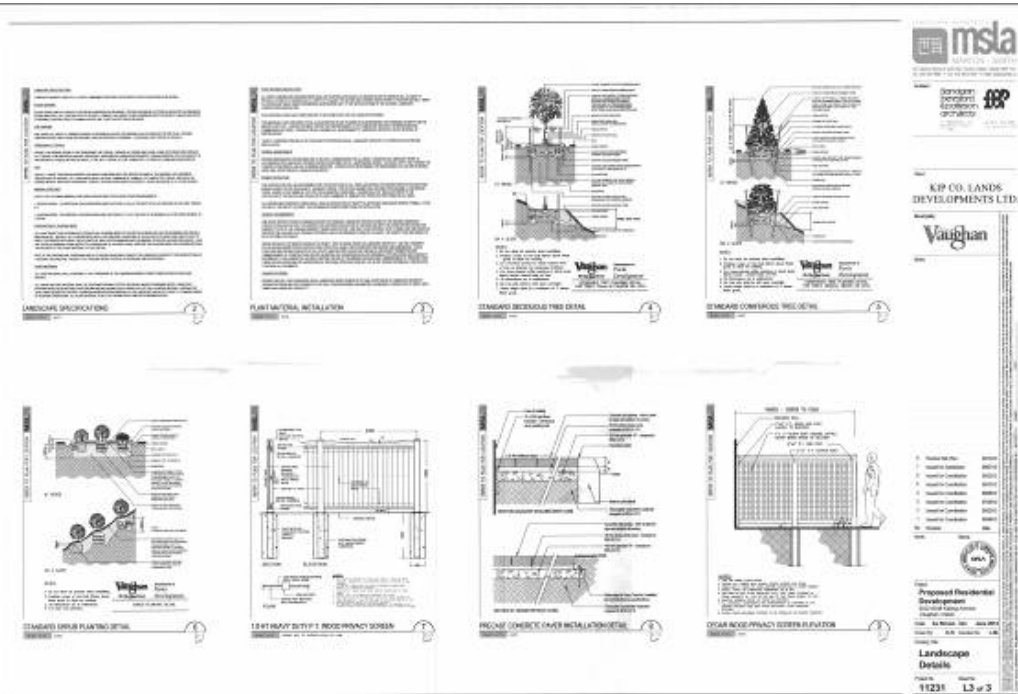
Proposed architectural drawings



Above: Site plan . Below: Landscape plan.



Proposed architectural drawings and renderings



Above: Landscape details plan.

Below: Proposed elevation for new structure at 8222 Kipling Avenue



Proposed architectural drawings

Proposed streetscape



Proposed Architectural drawings



Detail of proposed streetscape showing front elevation of proposed new semi-detached structure at 8234 Kipling Avenue and typical proposed detached garage structures.

Proposed architectural drawings and renderings



KIP CO. LANDS DEVELOPMEN
8222-8248 Kipling Ave., Vaughan, On

1/1/13	2/2/13 - 1/1/14	January 2013
1/1/13	2/2/13 - 1/1/14	January 2013

BLOCK 3
FRONT ELEVATION

**in
rd
erson architects**

Proposed architectural drawings and renderings



lagan
esford
atteson architects
n Road, Unit 1, Woodbridge, Ont.
5) 265-2688 Fax: (905) 265-2685

BLOCK 5
FRONT ELEVATION

KIP CO. LANDS DEVELOPME
8222-8248 Kipling Ave., Vaughan, O

12-1105 3/32" = 1'0" January, 201

Proposed Townhouse elevations: rendering of Block 5.

Proposed architectural drawings



Architectural drawing of front elevation for Block 1



Architectural drawing of front elevation for Block 2

Proposed architectural drawings



Above: Block 2 Side elevation.
Below: Block 3 Front elevation.



Proposed architectural drawings



Above: Block 3 Side elevation.
Below: Block 3 rear elevation.



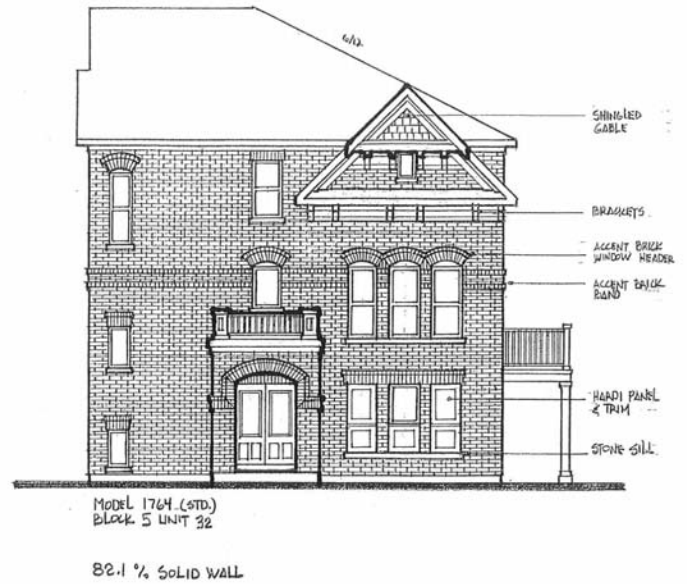
Proposed architectural drawings



Block 4 and Block 5 Front elevations, above and below respectively.



Proposed architectural drawings



Above: Block 5 Side elevations.
Below: Block 6 front elevations.



Proposed architectural drawings



Above: Block 7 front elevation.

Below: Block 7 side elevation.



Proposed architectural drawings



Above: Block 8 front elevation.

Below: Block 8 side elevation.



MODEL 1772 S.F. (GND)
BLOCK 8 UNIT 43

VILL AREA = 831.5 S.F.
AREA OF OPENINGS = 90.49 S.F.
89.1% SOLID WALL

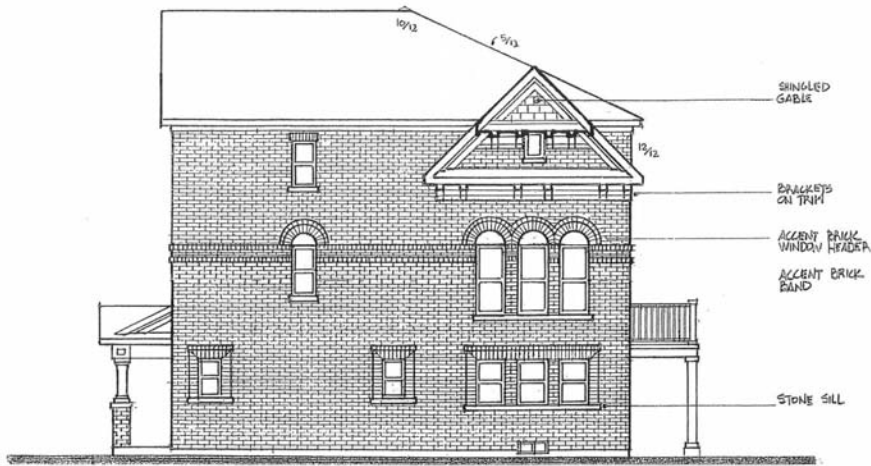
Proposed architectural drawings



Above: Block 8 rear elevation.
Below: Block 9 front elevation.



Proposed architectural drawings



Block 9 side elevation.

MODEL 1861 SF. (STD.)
BLOCK UNIT
WALL AREA = 1145.1 SF
AREA OF OPENINGS = 112.58
90.1% SOLID WALL



Block 9 rear elevation.