

CITY OF VAUGHAN

EXTRACT FROM COUNCIL MEETING MINUTES OF FEBRUARY 5, 2013

Item 3, Report No. 15, of the Finance and Administration Committee, which was adopted without amendment by the Council of the City of Vaughan on February 5, 2013.

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CRESTLAWN PLAYGROUND – WARD 2

The Finance and Administration Committee recommends approval of the recommendation contained in the following report of the Commissioner of Community Services, dated December 10, 2012:

Recommendation

The Commissioner of Community Services, in consultation with Legal Services and the Commissioner of Finance & City Treasurer, recommends:

1. That the draft 2013 Capital Budget be amended to include the request to fund the required corrective site works for the Crestlawn Playground, totaling \$82,400.00, including administration fees and be funded from the Parks Infrastructure Reserve; and,
2. This project be included in the draft capital budget deliberation process for the 2013 budget year.

Contribution to Sustainability

This report is consistent with the priorities previously set by Council in the Green Directions Vaughan, Community Sustainability Environmental Master Park Plan, Goal 2, Objective 2.2:

- To develop Vaughan as a City with maximum green space and an urban form that supports our expected population growth.

Economic Impact

The estimated project budget of \$82,400.00 (including 3% administration) for the City's share of the estimated total cost of \$200,000 to complete the required corrective site works be included in the draft 2013 Capital Budget and if approved would require an adjustment to the draft 2013 Capital Budget. The approval of this project will not impact the proposed 2013 Operating Budget.

Communications Plan

Not applicable.

Purpose

The purpose of this report is to seek approval to add the Crestlawn Playground corrective site works to the draft 2013 Capital Budget.

Background - Analysis and Options

The parcel of land located at Crestlawn Gate and Worthview Drive, which was conveyed to the City for passive landscaping purposes subject to an easement in favor of Ontario Hydro. This land was in addition to the required parkland dedication. The development of a playground precinct within the site was developed through discussions with City staff and is considered above the requirements for this subdivision development.

During the design development process for the Crestlawn playground project, the City's involvement was to ensure that the proposed constructed landscape works satisfied the City's park development standards; which required that all geotechnical construction testing was completed and that CSA requirements for children's play spaces were met.

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The works undertaken by the Developer for this site were completed on September 19, 2009, and were deemed substantially completed by Parks Development and Parks Operations staff, the park was assumed for general maintenance responsibilities (grass cutting, trash and recycling pick-up, playground inspection and associated maintenance requirements) for this site as of September 19, 2009.

During the summer of 2011, Hydro One raised a concern regarding the proximity between the playground and the overhead hydro infrastructure and the playground was fenced off as a precaution. Representatives from the developer and Hydro One, with the City's support, have worked together to find an agreeable solution to ensure that the play equipment may be re-opened and be safely used by the general public.

Hydro One is currently investigating the feasibility of moving the existing conductors in order to raise the existing hydro infrastructure to the allowable distance above the playground equipment. Alternatively, if the conductors cannot be raised, the more expensive solution may require that the existing playground equipment and associated landscape facilities be removed, the entire site be re-graded, redesigning and modifying the existing play equipment and reinstating the associated landscape facilities in a new configuration. The cost of these alternative works is estimated to be significantly higher than moving the conductors.

The hydro study is currently underway within Hydro One's engineering group and the report will advise on the viability, costs and timing to complete these corrective site works. The anticipated completion date for this report is tentatively scheduled for late December, 2012. The bulk of the costs to complete the corrective works, which will be identified by the Hydro study are to be paid by the development group which is estimated at \$200,000 with a shared cost contribution to be provided by the City of Vaughan that will not exceed \$82,400.00 (including 3% administration).

This facility provides an important recreational space for the local community. It provides residents within this subdivision a common outdoor space to gather, meet and participate in basic recreational activities for the neighbourhood children. Currently, there are no other playground areas within the local community and the subdivision is isolated by Langstaff Road to the south, open space river valley to the north, railway to the east and Martin Grove Road to the west. If the proposed corrective site works are not completed, then the playground area cannot be used and would need to be removed.

There are no suitable available lands to move the playground precinct. There are no other locations appropriate in the immediate area to relocate this playground precinct and associated landscape features due to the geographic boundaries and current land uses. This facility is heavily used by the local community and is considered an essential passive recreational facility for these residents. Since the closure of the playground, several City departments and offices have been responding to numerous inquiries from the local community demanding an update as to when the playground area will be re-opened and ready for use.

Relationship to Vaughan Vision 2020 / Strategic Plan

In consideration of the strategic priorities related to Vaughan Vision 2020, the project will provide:

- **STRATEGIC GOAL:**
Service Excellence - Providing service excellence to citizens.
- **STRATEGIC OBJECTIVES:**
Pursue Excellence in Service Delivery; and Enhance and Ensure Community Safety, Health and Wellness; and,
To deliver high quality services and to promote health and wellness through design and program.

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This report is consistent with the priorities previously set by Council.

Regional Implications

Not applicable.

Conclusion

Staff is recommending that the City provide a portion of the funding required to complete the corrective site works, totaling \$82,400.00 (including 3% administration), to ensure the safe re-opening of the Crestlawn playground and associated landscape facilities, be added to the draft 2013 Capital Budget. The funding source for these works is proposed as Parks Infrastructure Reserve. Including this project within the draft 2013 Capital budget will allow for the City to ensure that the playground may be reopened for general recreational use for the local community. If the funding is not approved there will be continued impacts to the residents in the area of the Crestlawn Playground.

Should Council through deliberations concur with funding this request in 2013, the intent is to ensure that the works take place in a timely manner following Hydro One's engineering group report regarding the proposed corrective site works.

Attachments

1. Attachment "A" Location Map
2. Attachment "B" Site Plan

Report prepared by:

Martin Tavares, Construction Coordinator, Ext. 8882
Melanie Morris, Construction Coordinator, Ext. 8058

(A copy of the attachments referred to in the foregoing have been forwarded to each Member of Council and a copy thereof is also on file in the office of the City Clerk.)

FINANCE AND ADMINISTRATION COMMITTEE – DECEMBER 10, 2012

CRESTLAWN PLAYGROUND – WARD 2

Recommendation

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Attachments

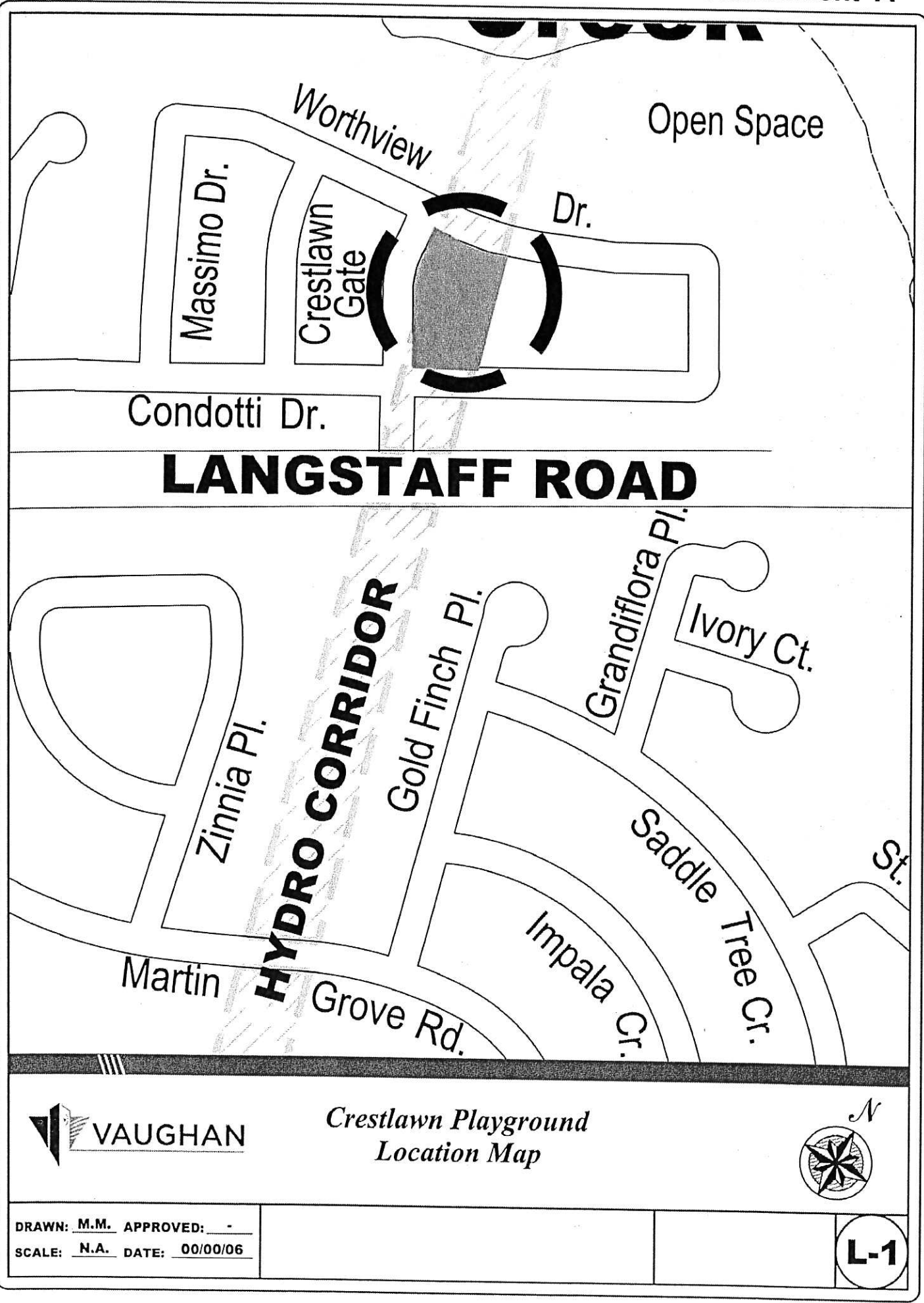
1. Attachment "A" Location Map
2. Attachment "B" Site Plan

Report prepared by:

Martin Tavares, Construction Coordinator, Ext. 8882
Melanie Morris, Construction Coordinator, Ext. 8058

Respectfully submitted,

Marlon Kallideen
Commissioner of Community Services

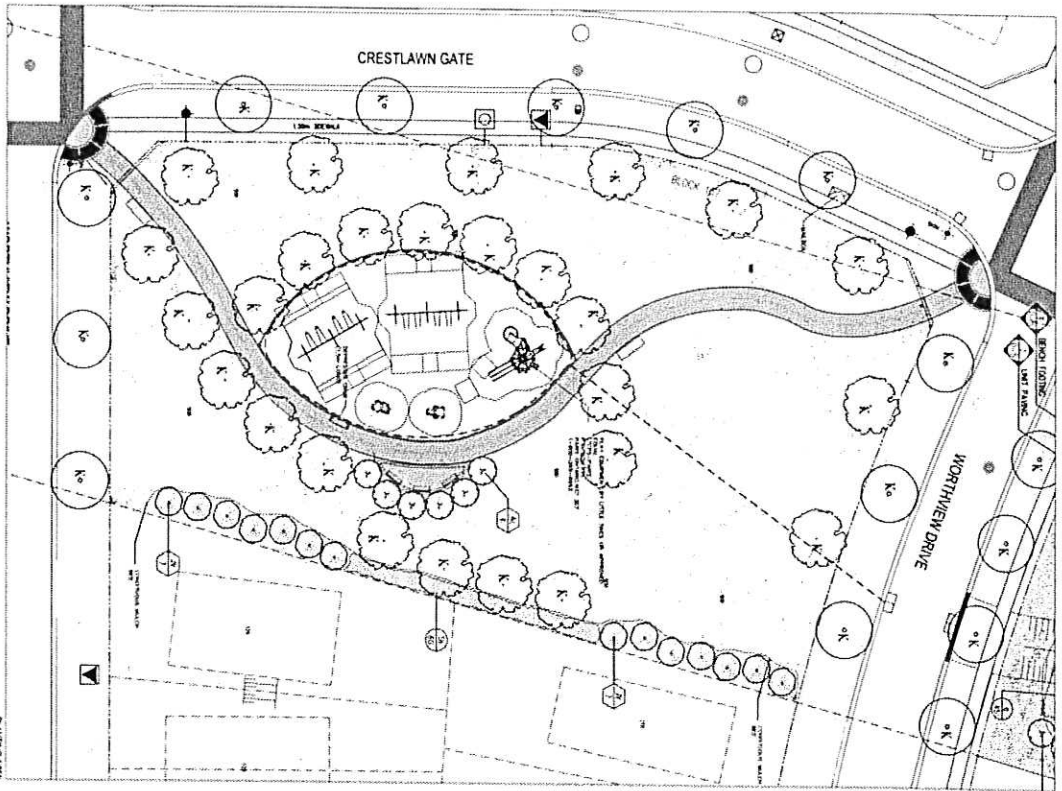


*Crestlawn Playground
Location Map*

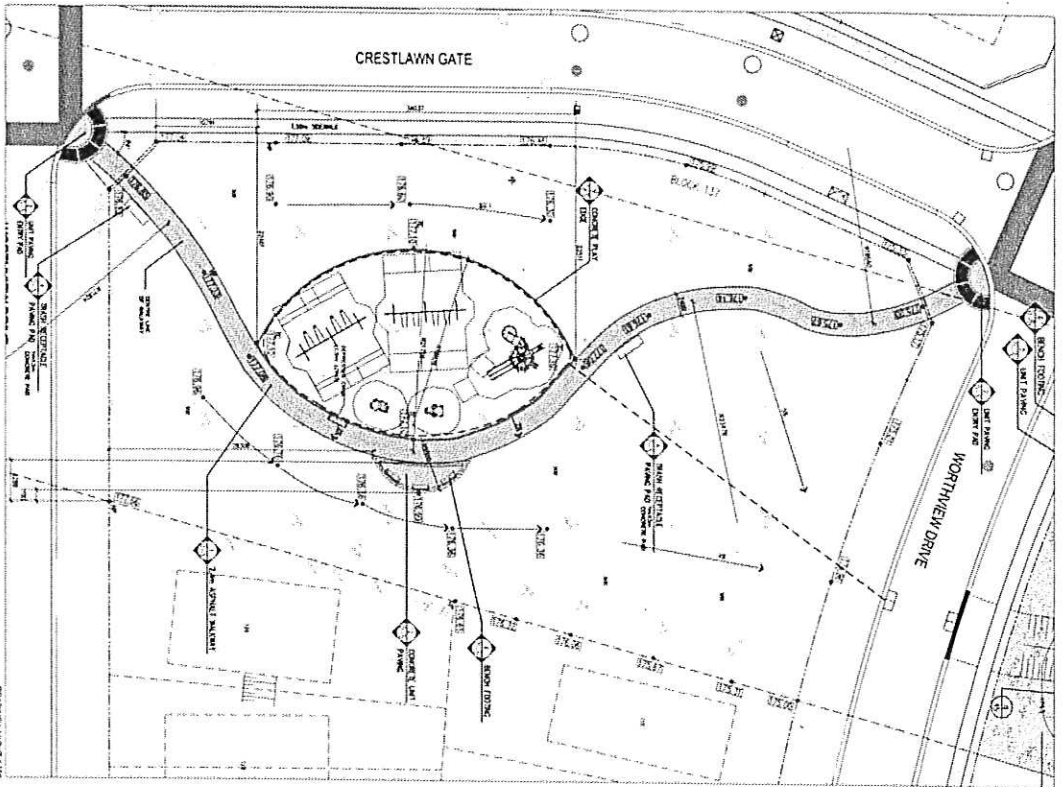
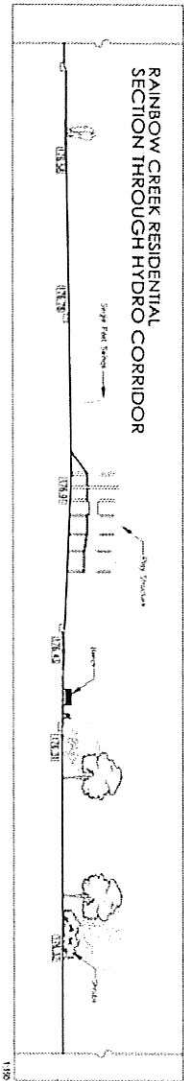


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RAINBOW CREEK RESIDENTIAL
STELLATAC PROPERTIES INC.

PARK PLAN
R-100-120
HYDRO ELEMENT

H-2

LEGEND

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