

**CITY OF VAUGHAN**

**EXTRACT FROM COUNCIL MEETING MINUTES OF DECEMBER 13, 2016**

Item 21, Report No. 43, of the Committee of the Whole, which was adopted without amendment by the Council of the City of Vaughan on December 13, 2016.

**21** **NEW CONSTRUCTION**  
**10680 ISLINGTON AVENUE- KLEINBURG-NASHVILLE HERITAGE CONSERVATION DISTRICT,**  
**DESIGNATED UNDER PART V, ONTARIO HERITAGE ACT**  
**WARD 1 - WEST SIDE OF ISLINGTON AVENUE AND NORTH OF BELL COURT**

**The Committee of the Whole recommends approval of the Heritage Vaughan Committee recommendation contained in the following report of the City Clerk, dated December 6, 2016:**

**Recommendation**

The City Clerk, on behalf of the Heritage Vaughan Committee, forwards the following recommendation from its meeting of October 19, 2016 (Item 2, Report No. 7) for Council's consideration:

- 1) That the recommendation contained in the following report of the Director of Development Planning, dated October 19, 2016, be approved, subject to the following additional condition:
  - c) that the applicant, in consultation with the Urban Design and Cultural Heritage Department, be requested to:
    1. Include a landing to the proposed stairs at the rear of the house;
    2. Change the colour of the quoining to blend with the brick;
    3. Add windows to the garage wall at the rear of the house; and
    4. Coordinate the brick colour palettes with the neighbouring property.

Report of the Director of Development Planning, dated October 19, 2016

**Recommendation**

The Director of Development Planning recommends:

1. THAT Heritage Vaughan recommend to Council the approval of the proposed new construction subject to the following conditions:
  - a) any significant changes to the proposal may require reconsideration by the Heritage Vaughan Committee, which shall be determined at the discretion of the Director of Development Planning;
  - b) that Heritage Vaughan Committee recommendations to Council do not constitute specific support for any Development Application under the *Ontario Planning Act* or permits or requirements currently under review or to be submitted in the future by the applicant as it relates to the subject application.

**Contribution to Sustainability**

This report is consistent with the goals and objectives within *Green Directions Vaughan*, the City's Community Sustainability and Environmental Master Plan, specifically:

Goal 4: To create a vibrant community where citizens, business and visitors thrive

*Objective 4.1: "To foster a city with strong social cohesion, an engaging arts scene, and a clear sense of its culture and heritage"*

## CITY OF VAUGHAN

### **EXTRACT FROM COUNCIL MEETING MINUTES OF DECEMBER 13, 2016**

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#### **Economic Impact**

There are no requirements for new funding associated with this report.

#### **Communications Plan**

All materials related to the Heritage Vaughan Committee are posted on the City's website.

#### **Purpose**

The purpose of this report is for Heritage Vaughan to consider the proposed new construction of two new single detached dwellings in the Kleinburg-Nashville Heritage Conservation District.

#### **Timeline**

This application is subject to the 90 day review under the *Ontario Heritage Act*. This application was declared complete on **September 30, 2016** and must be deliberated upon by Council by **December 29, 2016** to meet the 90 day timeline.

#### **Background - Analysis**

The subject property is known municipally as 10680 Islington Avenue. It is located towards the north end of the Kleinburg-Nashville Heritage Conservation District on the peninsula of land between Highway 27 and Islington Avenue where the two roadways meet and unite (Attachment #1).

The lot was created in 2010 as part of the consent application B056/06 and was formerly known as 10674 Islington Avenue. There are no structures presently on the property as shown in Attachment #2. A previous structure on the property was demolished in 2005 and the lot has remained vacant since. The current owner began the Site Plan approval process for a new construction in 2014 (DA.14.068) and the property received the new municipal address of 10680 Islington in 2015.

#### **Proposed New Construction**

The proponent is proposing the erection of a single detached house, using the Georgian Neoclassical heritage style as outlined in Section 9 of the Kleinburg-Nashville Heritage Conservation District Plan and Guidelines. The plans and elevations of the new constructions have been submitted for review and are attached to this report (Attachment #3). The subject property is located in the Village Residential area, and the applicable policy and guidelines of the District shall apply.

The following are relevant Goals, Policies, and Guidelines with which this proposal is found to be consistent:

- Section 5.2.5 District Goals and Objectives, Future Development in the District: "To guide new development so it can provide for contemporary needs, and to ensure its design will be compatible with and complementary to the character of the District and the heritage resources within."
- Section 6.3 Policies for New Development:
- "New development should be limited to vacant sites or to sites currently occupied by unsympathetic buildings."

## CITY OF VAUGHAN

### **EXTRACT FROM COUNCIL MEETING MINUTES OF DECEMBER 13, 2016**

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- “New buildings should be sympathetic in siting, scale, material, texture, and general design to the heritage building around them.”
- Section 9.5.3 Residential Villages, 9.5.3.1. Site Planning outlines the elements that define the heritage character of the residential village, including “Generous lot sizes and modest house sizes”, and the generous presence of mature trees.
- Section 9.5.3.3 Scale and Massing: “New residential construction in the Residential Villages should respect local heritage precedents in scale and massing.”

In general, new developments in the Kleinburg-Nashville Heritage Conservation District should be limited to vacant sites or sites currently occupied by unsympathetic buildings and should be sympathetic to the District guidelines in style and scale. The proposed new structure is to be located on an empty lot and is using the Georgian Neoclassical heritage style, which is a recognized heritage style within the district.

In accordance with the Georgian Neoclassical style, the proposed building features a 5 bay façade, with the central bay projected slightly. For materials, the new construction proposes to use a dark red brick with white trim. The roofline is low and hipped, in keeping with Georgian style outlined in the Heritage Conservation District Design Guidelines. Although the rear of the house is not as symmetrical as the front, it is confined largely to the lower level and is mitigated by the rising grade to the rear of the lot and will not be visible from Highway 27. The lot itself is subject to many different grades and the house is designed to accommodate the changes.

Zoning has indicated that they have no concerns with the application and that no Minor Variances will be required for the new construction.

#### **Relationship to Term of Council Service Excellence Strategy Map (2014-2018)**

This report relates to the Term of Council Service Excellence Strategy Map (2014-2018) by supporting the following initiatives:

- Support and promote arts, culture, heritage and sports in the community

#### **Regional Implications**

N/A

#### **Conclusion**

The Urban Design and Cultural Heritage Division has reviewed the proposed application and is satisfied that the proposed new construction at 10680 Islington Avenue is consistent with the Kleinburg-Nashville Conservation District Plan. Accordingly, the Urban Design and Cultural Heritage Division of the Development Planning Department can support the approval of the proposed new construction under the *Ontario Heritage Act*.

#### **Attachments**

1. Location Map
2. Current Condition
3. Plans and Elevations
  - a) Exterior Elevations and Sections
  - b) Detail of Front Elevation
  - c) Proposed Site Plan
4. Landscape Site Plans
  - a) Landscape Masterplan

**CITY OF VAUGHAN**

**EXTRACT FROM COUNCIL MEETING MINUTES OF DECEMBER 13, 2016**

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- b) Notes and Details
  - c) Protection Plan
  - d) Vegetation Inventory Plan
  - e) Restoration Plan
5. Heritage Brief, Including Renderings of Proposed Construction

**Report prepared by:**

Katrina Guy, Cultural Heritage Coordinator, ext. 8115

Moir Wilson, Senior Urban Designer, ext. 8353

Rob Bayley, Manager of Urban Design and Cultural Heritage, ext.8254

(A copy of the attachments referred to in the foregoing have been forwarded to each Member of Council and a copy thereof is also on file in the office of the City Clerk.)

**NEW CONSTRUCTION  
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DISTRICT, DESIGNATED UNDER PART V, ONTARIO HERITAGE ACT  
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#### **Attachments**

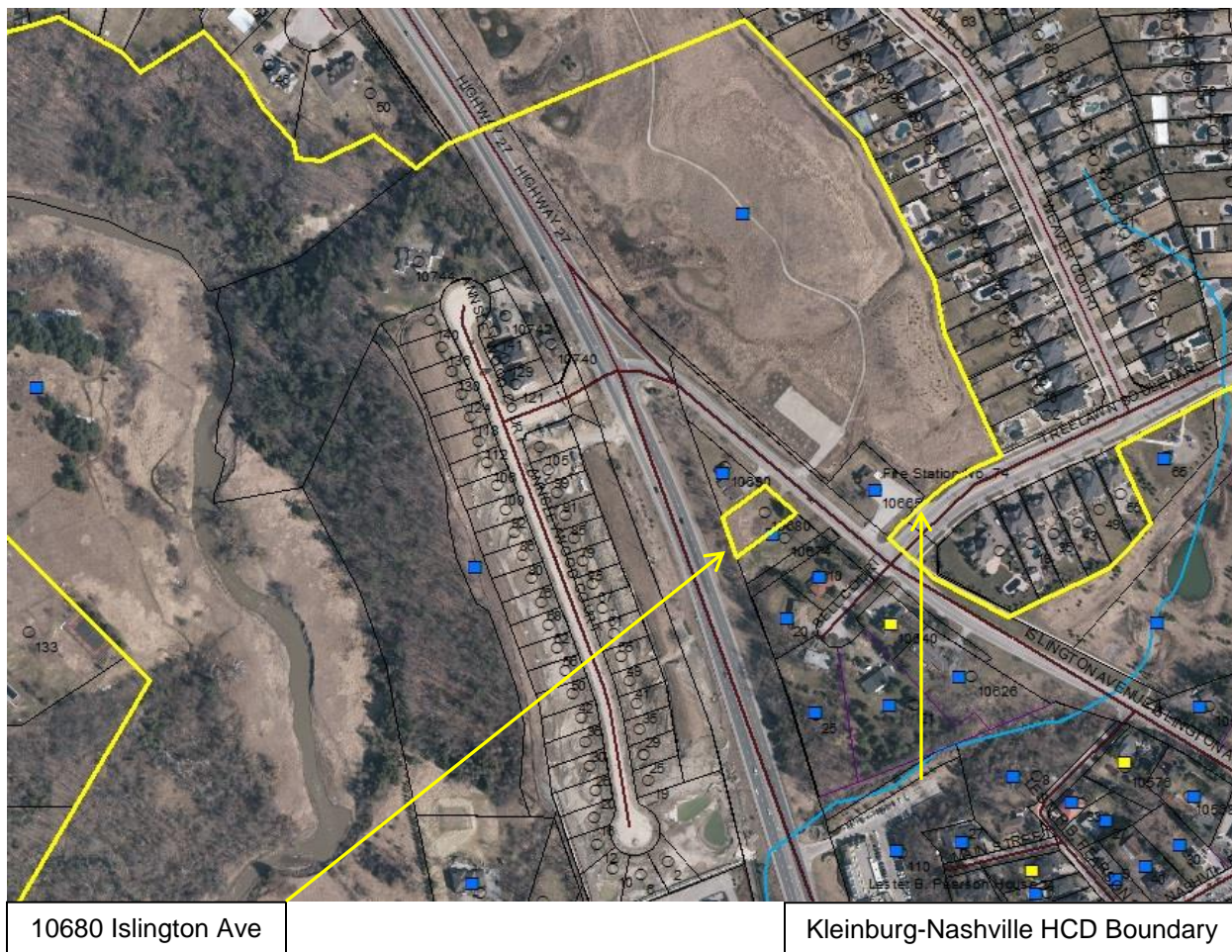
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#### **Report prepared by:**

Katrina Guy, Cultural Heritage Coordinator, ext. 8115  
Moirá Wilson, Senior Urban Designer, ext. 8353  
Rob Bayley, Manager of Urban Design and Cultural Heritage, ext.8254

## ATTACHMENT 1

### Location Map



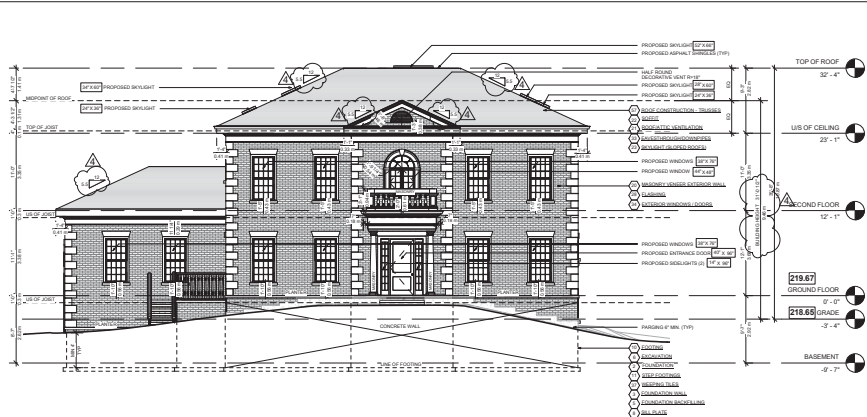


**Street Photos – Current Condition**

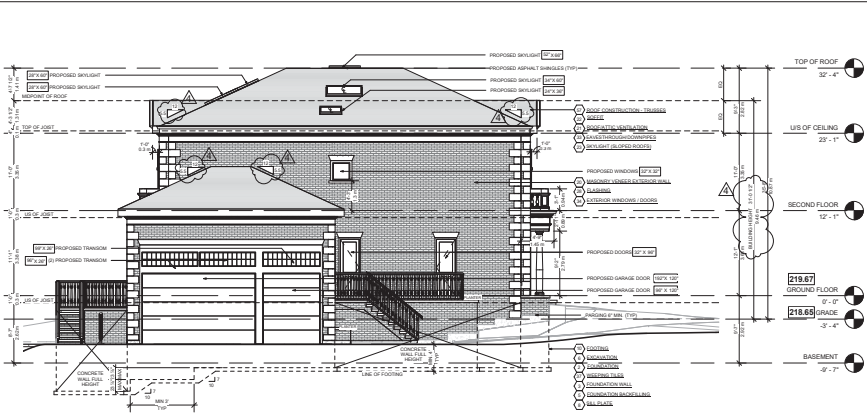


10680 Islington Avenue

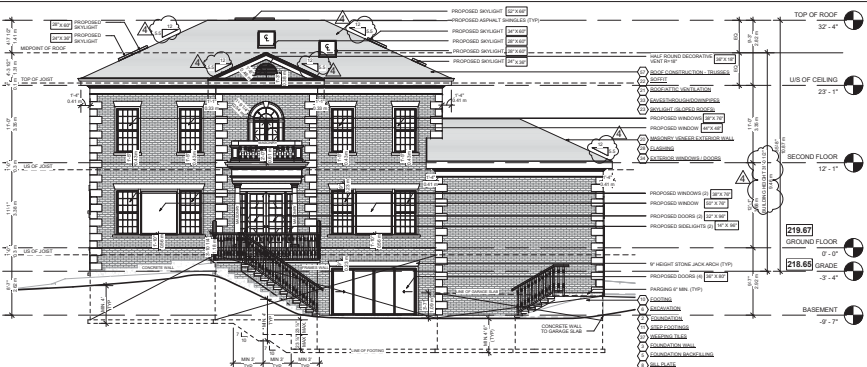
Attachment 3 a) Exterior Elevations



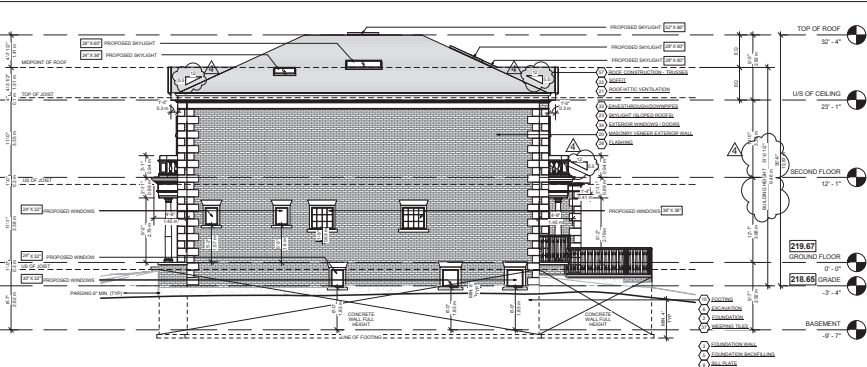
A PROPOSED FRONT ELEVATION  
1:100



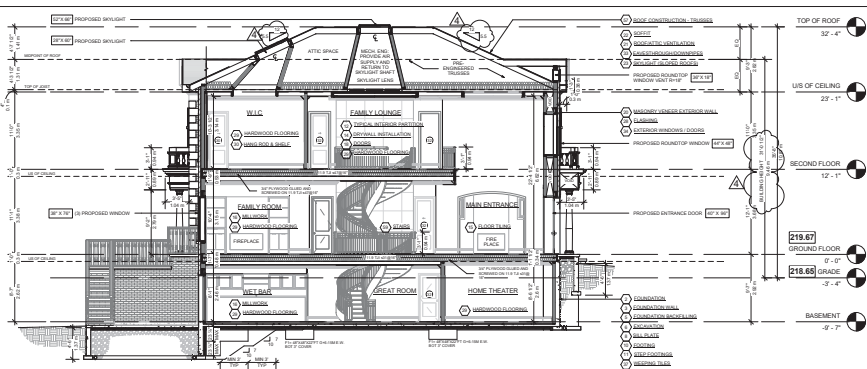
C PROPOSED LEFT SIDE ELEVATION  
1:100



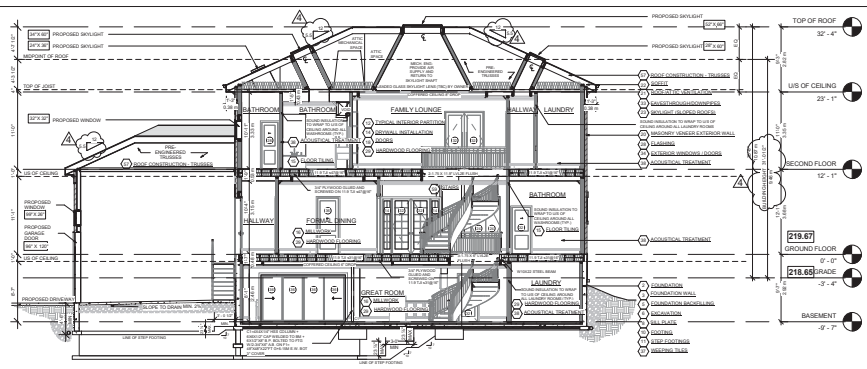
B PROPOSED REAR ELEVATION  
1:100



D PROPOSED RIGHT SIDE ELEVATION  
1:100



E SECTION A-A  
1:100



F SECTION B-B  
1:100

PROJECT  
**PROPOSED RESIDENCE FOR SHAD.**

CLIENT

04 REVISED AND REISSUED FOR SITE PLAN APPROVAL 15-AUG-2016  
03 REVISED AND REISSUED FOR SITE PLAN APPROVAL 25-JUL-2016  
02 ISSUED FOR SITE PLAN APPROVAL 14-APR-2015  
01 ISSUED FOR SITE PLAN APPROVAL 08-SEPT-2014

REVISIONS

8/15/2016 10:07:22 AM

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL & METRIC.

CONSULTANTS

**QBS ARCHITECTS**  
TORONTO - CANADA 416.546.2560 info@qbsarchitects.com

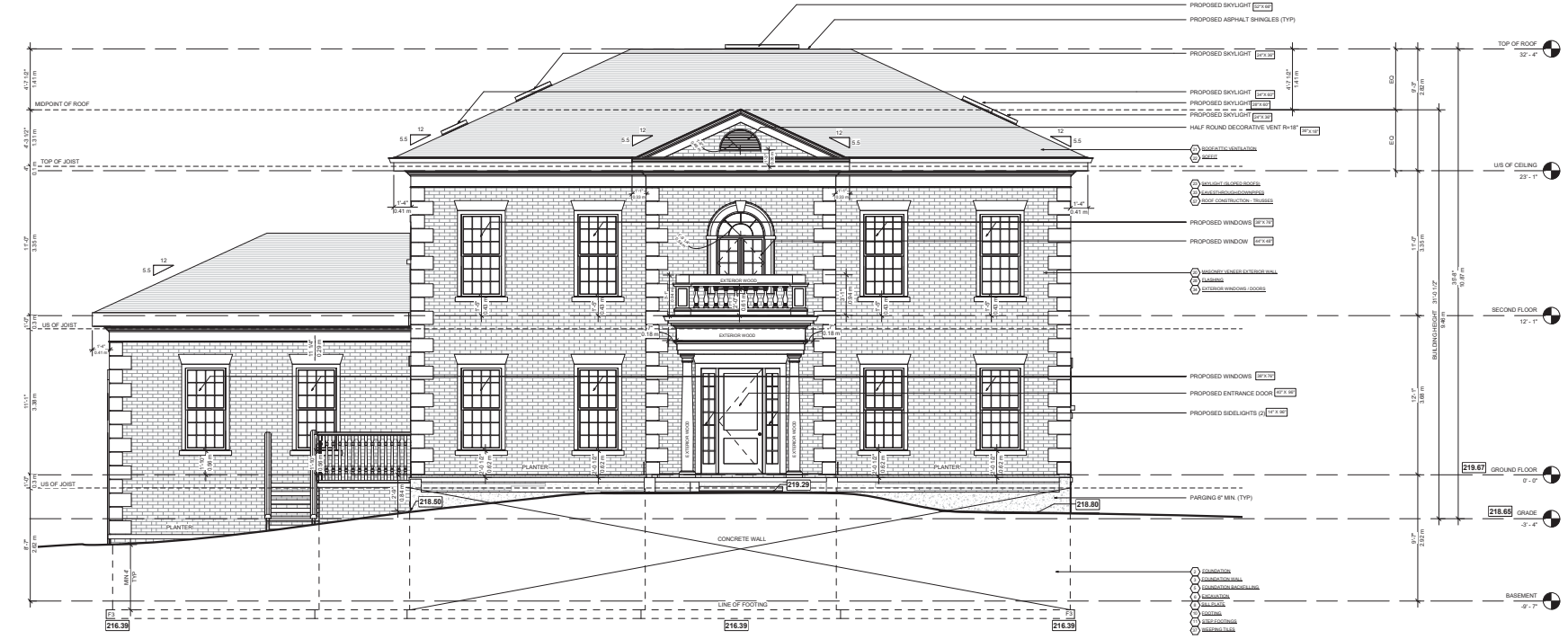
DRAWING TITLE  
**EXTERIOR ELEVATIONS AND SECTIONS**

DRAWN NB	CHECKED SA
SCALE @ ARCH D 1:100	DATE 08/15/16
PN N	GRAPHIC SCALE

PROJECT NO. 160109

STAGE SPA	DRAWING NO. A5
LOCATION VAUGHAN	REVISION 04

Attachment 3 b) Detail of Front Elevation



PROJECT  
**PROPOSED RESIDENCE FOR SHAD.**

CLIENT

SITE

REVISIONS

6/31/2016 9:26:01 AM

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL & METRIC.

CONSULTANTS

**QBS ARCHITECTS**

TORONTO - CANADA 416.546.2640 info@qbsarchitects.com

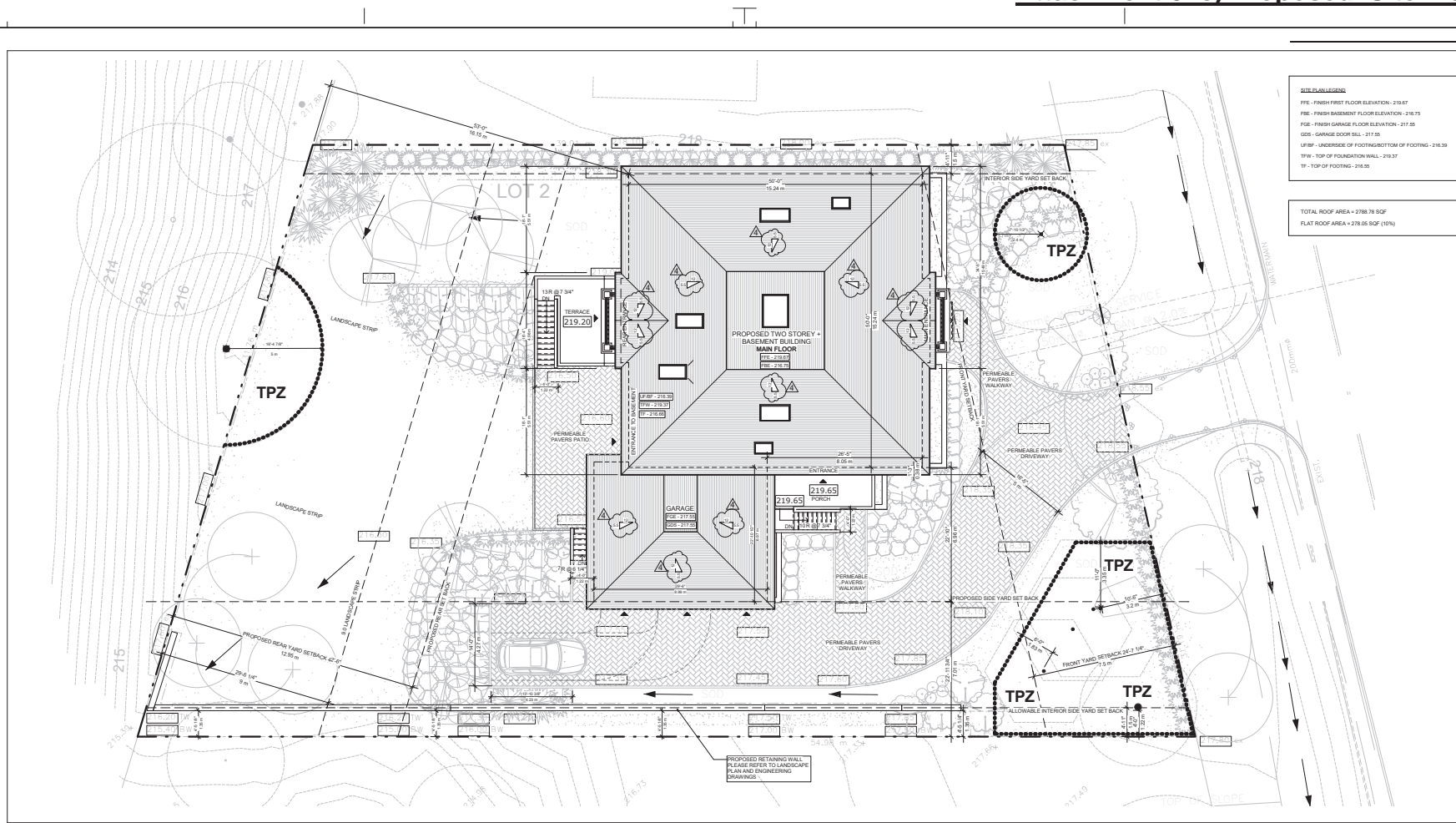
DRAWING TITLE  
**PROPOSED SOUTH ELEVATION**

DRAWN NB	CHECKED SA
SCALE @ ARCH D	DATE 07/26/16
GRAPHIC SCALE 0 1 2 3 4 5m	
PROJECT NO. 160109	
STAGE <b>CD</b>	DRAWING NO. <b>A3-001</b>
LOCATION VAUGHAN	REVISION <b>00</b>

1 PROPOSED FRONT ELEVATION  
1/8" = 1'-0"



## **Attachment 3 c) Proposed Site Plan**



## A. PROPOSED SITE PLAN

1 : 100

ZONING INFORMATION FOR 63 EASTWOOD AVE				
ZONING: R-1 (RESIDENTIAL DETACHED) SPLIT: 1 SPLIT AREA: 14,000.00 SQ. FT. ALLOWABLE COVERAGE: 35%		PERMITS		MAX. FS
		1468.00		1662.00
		1468.00		1662.00
PROPOSED: 2ND FLOOR		226.0		226.0
PROPOSED: 3RD FLOOR		226.0		226.0
PROPOSED: 4TH FLOOR		226.0		226.0
PROPOSED: 5TH FLOOR		226.0		226.0
PROPOSED: 6TH FLOOR		226.0		226.0
PROPOSED: 7TH FLOOR		226.0		226.0
PROPOSED: 8TH FLOOR		226.0		226.0
PROPOSED: 9TH FLOOR		226.0		226.0
PROPOSED: 10TH FLOOR		226.0		226.0
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THE FOLLOWING NOTES APPLY TO THE CONSTRUCTION AND SHALL FORM PART OF THE DRAWINGS ATTACHED HERETO:

- [illegible]

- [illegible]

GENERAL NOTES

- [illegible]

## ELECTRICAL SYSTEM

- [illegible]

PROJECT

**PROPOSED  
RESIDENCE FOR  
SHAD.**

CLIENT
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04	REVISED AND REISSUED FOR SITE PLAN APPROVAL	15-AUG-2016	
03	REVISED AND REISSUED FOR SITE PLAN APPROVAL	25-JUL-2016	
02	ISSUED FOR SITE PLAN APPROVAL	14-APR-2016	
01	ISSUED FOR SITE PLAN APPROVAL	09-SEPT-2015	

REVISIONS		
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8/15/2016 10:07:00 AM

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.



ALL DIMENSIONS ARE SHOWN IN IMPERIAL & METRIC

CONSULTANTS
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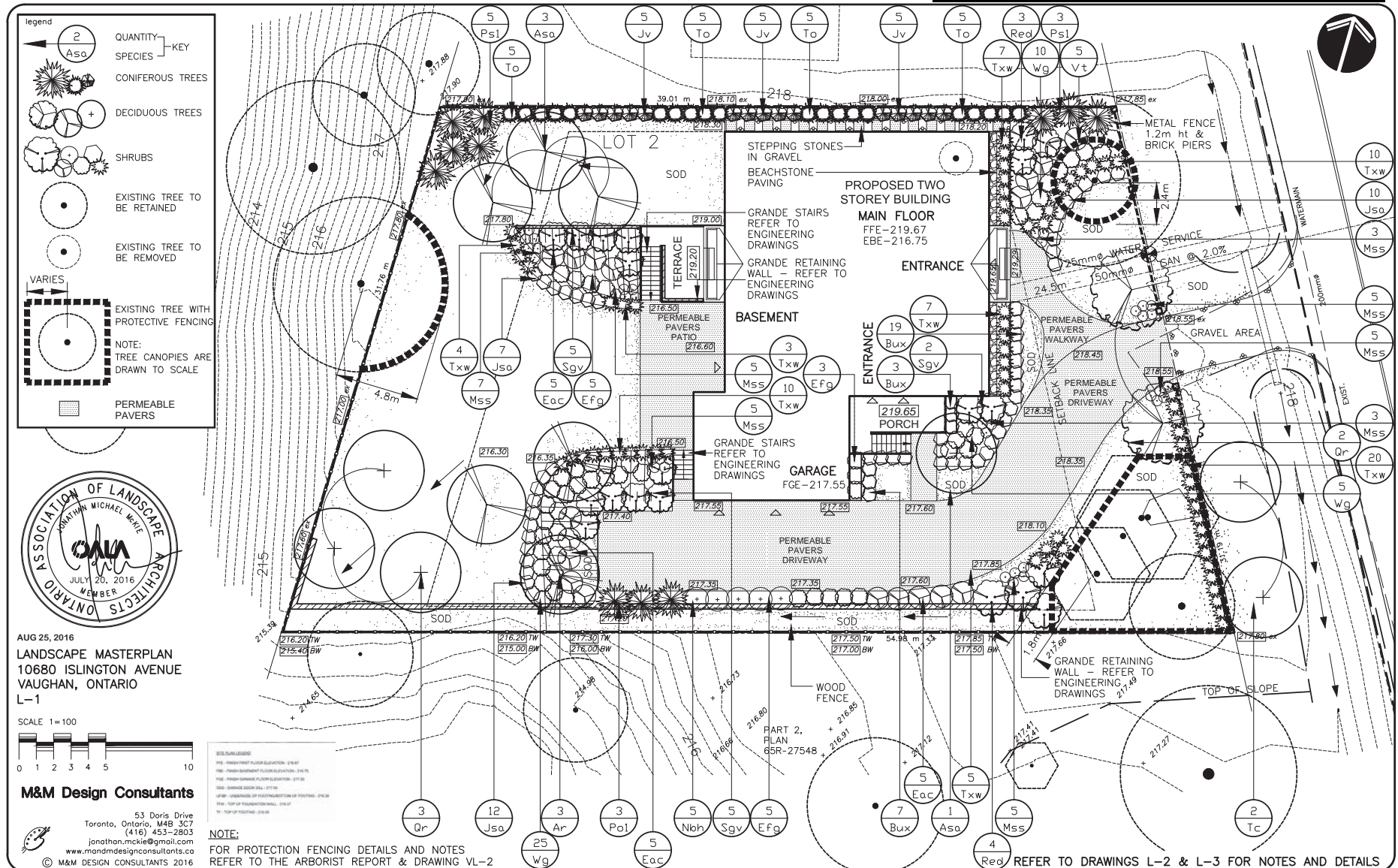


TORONTO - CANADA 416.546.2040 info@qbsarchitects.ca

## PROPOSED SITE PLAN, SITE STATISTICS & ZONING INFORMATION

DRAWING NB		CHECKED SA	
SCALE @ ARCH D As indicated		DATE 08/15/16	
PN 		GRAPHIC SCALE 	
PROJECT NO. 160109			
STAGE SPA		DRAWING NO. A1	
LOCATION VAUGHAN		REVISION 04	

# Attachment 4 a) Landscape Masterplan



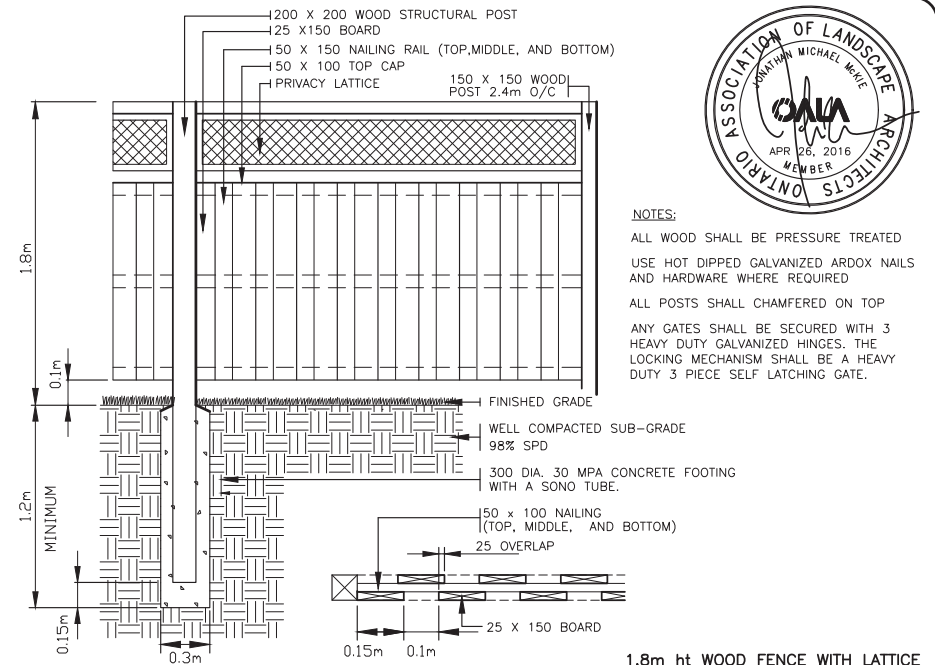
## Attachment 4 b) Notes and Details

### PLANT LIST

### PROPOSED PRIVATE PROPERTY VEGETATION

KEY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	CALIPER	ROOT	REMARKS
3 Ar	Acer rubrum	Red Maple	4.5m	1.2m	60mm	W.B.	FULL FORM
4 Asa	Acer saccharum	Sugar Maple	4.5m	1.2m	60mm	W.B.	FULL FORM
5 Qr	Quercus rubra	Red Oak	4.5m	1.2m	60mm	W.B.	FULL FORM
2 Tc	Tilia cordata	Little Leaf Linden	3.5m	1.2m	60mm	W.B.	FULL FORM
15 Jv	Juniperus virginiana	Eastern Red Cedar	1.8m	/	/	B&B	FULL FORM
3 Po1	Picea omorika	Serbian Spruce	1.8m	/	/	W.B.	FULL FORM
8 Ps1	Pinus strobus	White Pine	1.8m	/	/	W.B.	FULL FORM
23 To	Thuja occidentalis	White Cedar	1.8m	/	/	B&B	FULL FORM
15 Jv	Juniperus virginiana	Eastern Red Cedar	1.8m	/	/	B&B	FULL FORM
7 Red	Cercis canadensis	Redbud	1.5m	/	/	B&B	FULL FORM
12 Sgv	Syringa vulgaris	Common Lilac	1.5m	/	/	B&B	FULL FORM
15 Eac	Euonymus alata 'Compacta'	Dwarf Burningbush	0.6m	/	/	C.G.3	FULL FORM
5 Nbh	Hydrangea macrophylla 'Nikko Blue'	Nikko Blue Hydrangea	0.6m	/	/	C.G.3	FULL FORM
5 Vt	Viburnum trilobum	Highbush Cranberry	0.6m	/	/	C.G.3	FULL FORM
40 Wg	Cornus sanguinea	Winter Beauty Dogwood	0.6m	/	/	C.G.3	FULL FORM
13 Efg	Euonymus fortunei 'Emerald 'n Gold'	Emerald 'n Gold Euonymus	0.6m	/	/	C.G.3	FULL FORM
29 Bux	Buxus	Boxwood	0.6m	/	/	C.G.3	FULL FORM
66 Txw	Taxus media 'Ward'	Ward's Yew	0.6m	/	/	C.G.3	FULL FORM
22 Jsa	Juniperus sabina 'Arcadia'	Arcadia Juniper	/	0.5m	/	C.G.3	FULL FORM
38 Mss	Calamagrostis x acutiflora 'Karl Forester'	Feather Reed Grass	/	/	/	C.G.1	FULL FORM

ALL VEGETATION MUST BE NUMBER 1 GRADE AS PER THE CURRENT CANADIAN STANDARDS FOR NURSERY STOCK



1.8m ht WOOD FENCE WITH LATTICE

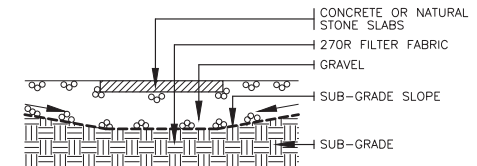
N.T.S.

### SODDING SPECIFICATION

USE NO. 1 MIXTURE 50% MERION BLUE AND 50% KENTUCKY BLUE GRASS NURSERY SOD OVER 100mm (4") OF CLEAN TOPSOIL AS SPECIFIED BY THE NURSERY SOD GROWERS ASSOCIATION OF ONTARIO. THE TOPSOIL SUPPLIED BY THE CONTRACTOR MAY HAVE TO BE TESTED IN ACCORDANCE WITH THE TOPSOIL NOTES IF REQUESTED TO DO SO BY EITHER THE CLIENT, THEIR AGENT, OR M&M DESIGN CONSULTANTS. SOD SHALL NOT BE PERMITTED TO DRY OUT BEFORE PLACEMENT OR TO HEAT UP DUE TO STACKING OR TRANSPORT.

BROKEN OR MANGLED MUST NOT BE LAID. SOD SHALL BE LAID WITHIN 24 HOURS OF CUTTING.

AT THE TIME OF INSTALLATION, SOD MUST HAVE A STRONG FIBEROUS ROOT SYSTEM AND FREE OF STONES, BURNED OR BARE SPOTS. BROKEN, DRY, OR DISCOLOURED PIECES WILL BE REJECTED BY M&M DESIGN CONSULTANTS.



STEPPING STONES IN GRAVEL

NOT TO SCALE

APRIL 26, 2016

NOTES & DETAILS

10680 ISLINGTON AVENUE

VAUGHAN, ONTARIO

L-2

M&M Design Consultants



53 Doris Drive

Toronto, Ontario, M4B 3C7

(416) 453-2803

jonathan.mckie@gmail.com

www.mandmdesignconsultants.ca

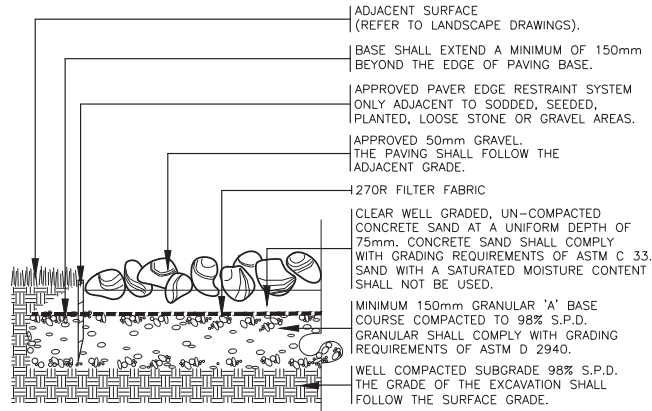
© M&M DESIGN CONSULTANTS 2016

REFER TO DRAWING L-1 FOR FRONT LANDSCAPE PLAN



## Attachment 4 b) Notes and Details

REFER TO DRAWING L-1 FOR FRONT LANDSCAPE PLAN



### NOTES:

GRAVEL SHALL BE FREE FROM CRACKS AND FISSURES, AND SHALL BE FREE FROM SAND CLAY AND OTHER DELETERIOUS MATERIAL.

GRAVEL SHALL BE PLACED OVER THE CONCRETE SAND BEDDING COURSE SUCH THAT AN OVERALL LEVEL APPEARANCE IS ACHIEVED WITHOUT VOIDS.

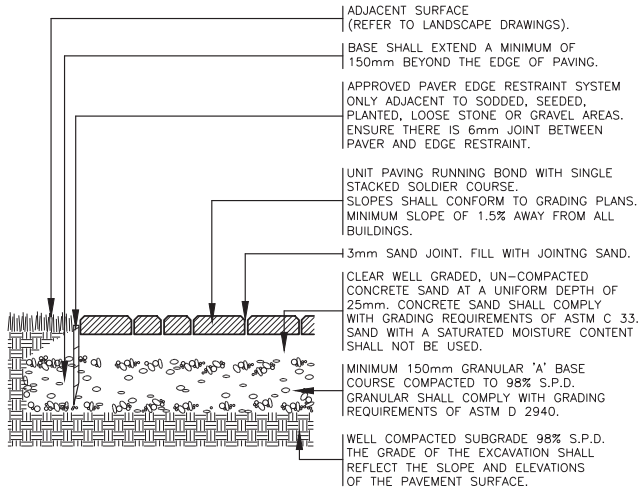
GRAVEL SHALL THEN BE LIGHTLY COMPACTED TO EMBED INTO BEDDING COURSE.

SAND OR GRAVEL SHALL NOT BE INSTALLED DURING HEAVY RAIN OR SNOWFALL.

SAND OR GRAVEL SHALL NOT BE INSTALLED OVER FROZEN BASE MATERIAL.

FROZEN SAND SHALL NOT BE USED.

GRAVEL  
NOT TO SCALE



### NOTES:

WHERE REQUIRED, CUT UNIT PAVERS WITH AN APPROVED CUTTER TO FIT ACCURATELY, NEATLY AND WITHOUT DAMAGED EDGES.

DO NOT CUT OR INSTALL PAVERS LESS THAN 10mm IN WIDTH.

AFTER LAYING UNIT PAVERS ON UN-COMPACTED, CONCRETE SAND BEDDING COURSE, COMPACT ENTIRE PAVED AREA TO ACHIEVE CONSOLIDATION OF THE CONCRETE SAND BEDDING USING A SUITABLE PLATE COMPACTOR WITH NO LESS THAN TWO PASSES.

AFTER COMPACTION, JOINTING SAND SHALL BE SPREAD OVER PAVING AND SWEEP INTO JOINTS. SWEEP CLEAN ALL PAVED AREAS OF EXCESS SAND AND DIRT. SAND SHALL COMPLY WITH GRADING REQUIREMENTS OF ASTM C 144.

SAND OR PAVERS SHALL NOT BE INSTALLED DURING HEAVY RAIN OR SNOWFALL.

SAND OR PAVERS SHALL NOT BE INSTALLED OVER FROZEN BASE MATERIAL.

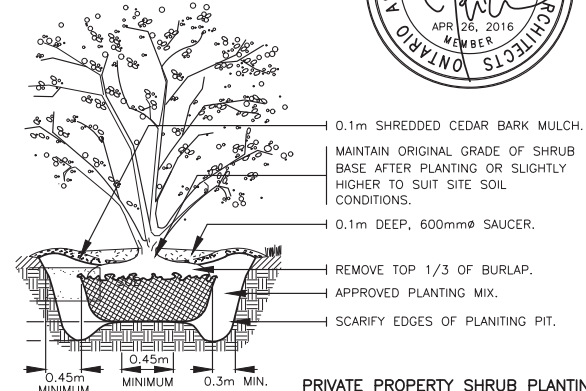
FROZEN SAND SHALL NOT BE USED.

PAVERS WITH EXCESSIVE CHIPS, CRACKS, VOIDS, DISCOLOURATIONS OR OTHER DEFECTS SHALL NOT BE INSTALLED.

THE JOINTING SAND CAN BE SUBSTITUTED WITH A POLYMERIC SAND INSTALLED AS PER MANUFACTURERS INSTRUCTIONS.

PERMEABLE UNIT PAVING  
NOT TO SCALE

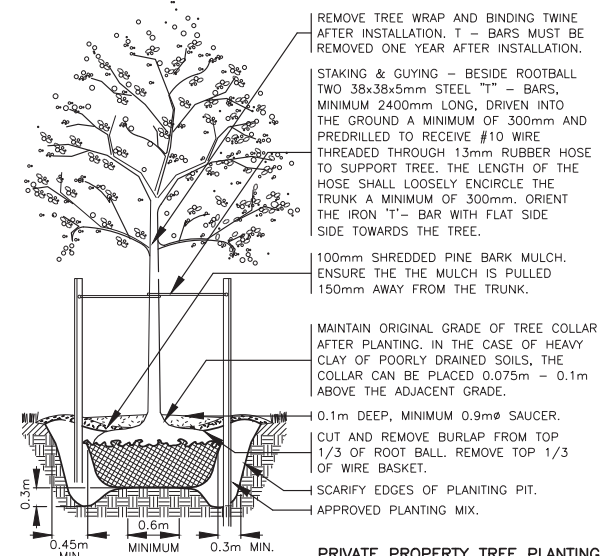
DETAIL DOES NOT REPRESENT ANY PARTICULAR SPECIES



PRIVATE PROPERTY SHRUB PLANTING

NOT TO SCALE

DETAIL DOES NOT REPRESENT ANY PARTICULAR SPECIES



PRIVATE PROPERTY TREE PLANTING

NOT TO SCALE

### PLANTING NOTES:

PRUNE ONLY DEAD, TORN OR BROKEN BRANCHES. DO NOT PRUNE LEADERS.

DO NOT USE WOUND DRESSING.

SOIL MIXTURE SHALL BE FIRMLY TAMPED AND WATERED TO ELIMINATE AIR POCKETS AND PREVENT SETTLEMENT.

PLASTIC POTS MUST BE REMOVED.

REMOVE FIBER POTS PROVIDED THE ROOT MASS DOES NOT COLLAPSE. IF THERE IS A VALID CONCERN FOR VALID CONCERN FOR THE ROOT SYSTEM, REMOVE THE TOP RIM, THEN SLICE THE SIDE OF THE POT VERTICALLY IN A MINIMUM OF THREE PLACES.

AT THE TIME OF PLANTING, ENSURE A BALANCED GRANULAR FERTILIZER IS EVENLY DISTRIBUTED THROUGHOUT THE PLANTING MIX.

ENSURE PLANTS ARE THOROUGHLY WATERED AT TIME OF PLANTING.

### TOPSOIL NOTES:

ALL TOPSOIL MUST BE SHREDDED, FERTILE, FRIABLE NATURAL LOAM WITH A MINIMUM OF 4% ORGANIC MATTER FOR CLAY LOAMS AND 2% FOR SANDY LOAMS. THE TOPSOIL ACIDITY SHALL RANGE FROM 6.0pH TO 7.0pH (LEVELS OF NPK AND Mg ARE TO BE NOTED), AND FREE OF ANY SUBSOIL, CLAY LUMPS, STONES, ROOTS GREATER THAN 50mm, AND FOREIGN OBJECTS.

TEST TOPSOIL THE SOURCE PROVIDING 0.5kg SAMPLES TO AN APPROVED TESTING LABORATORY AND INDICATE ITS PRESENT USE. PREPARE AND SHIP THE SAMPLES IN ACCORDANCE WITH THE TESTING LABORATORY REQUIREMENTS.

THE TESTING MUST IDENTIFY IF THE FOLLOWING ELEMENTS ARE PRESENT IN HARMFUL LEVELS: ATRAZINE, SALTS, PRE-EMERGENT HERBICIDE GROWTH INHIBITORS, SOIL STERILANTS OR HEAVY METALS.

IF TEST RESULTS INDICATE THE TOPSOIL IS NOT SATISFACTORY, THE REPORT SHALL INCLUDE RECOMMENDATIONS TO IMPROVE THE SOIL.

M&M DESIGN CONSULTANTS RESERVES THE RIGHT TO REJECT TOPSOIL THAT DOES NOT MEET STANDARDS.

AUG 25, 2016

NOTES & DETAILS  
10674 ISLINGTON AVENUE  
VAUGHAN, ONTARIO

L-3

M&M Design Consultants



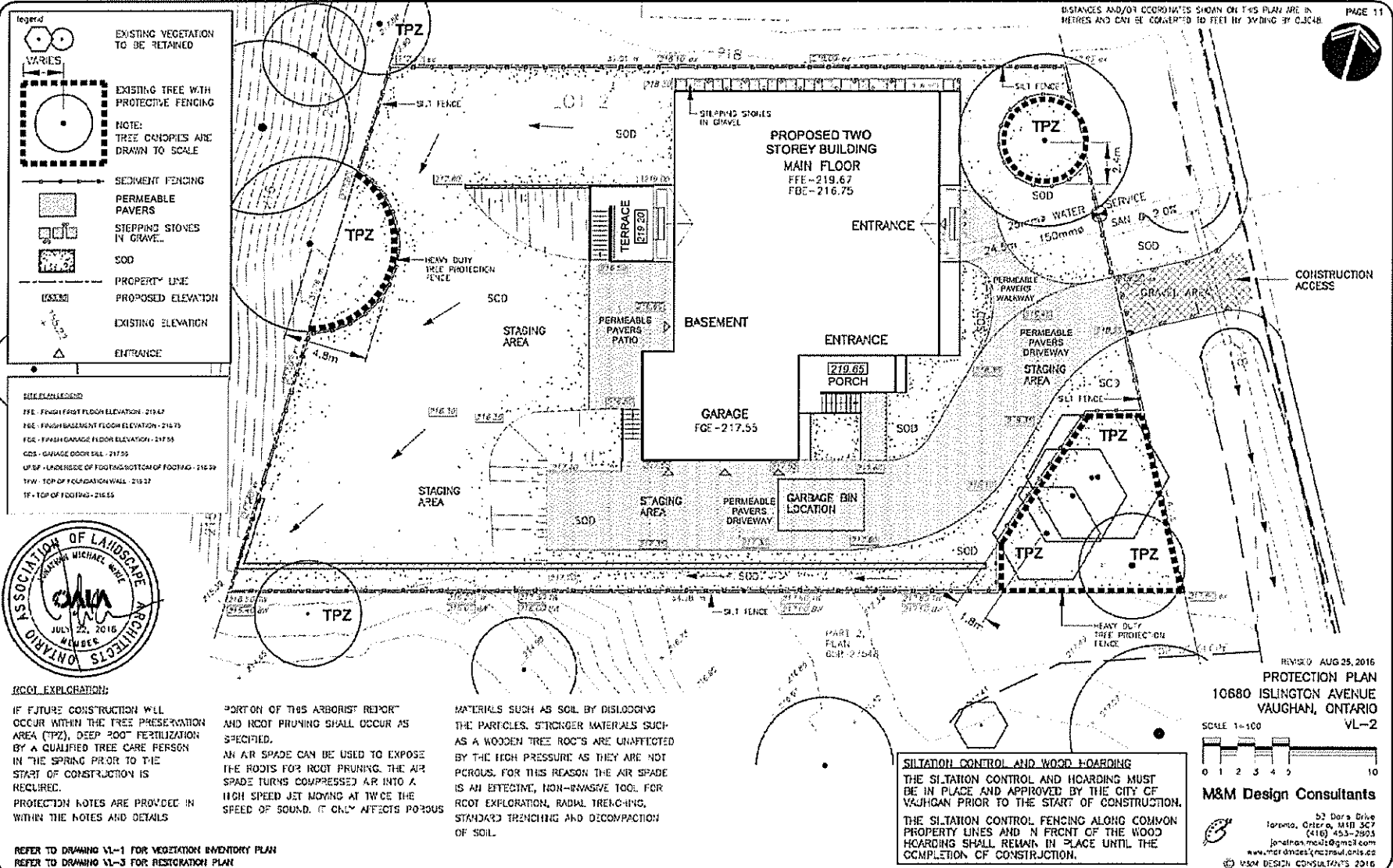
53 Doris Drive  
Toronto, Ontario, M4B 3C7  
(416) 453-2803  
jonathan.mckie@gmail.com  
www.mandmdesignconsultants.ca

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# Attachment 4C) Protection Plan

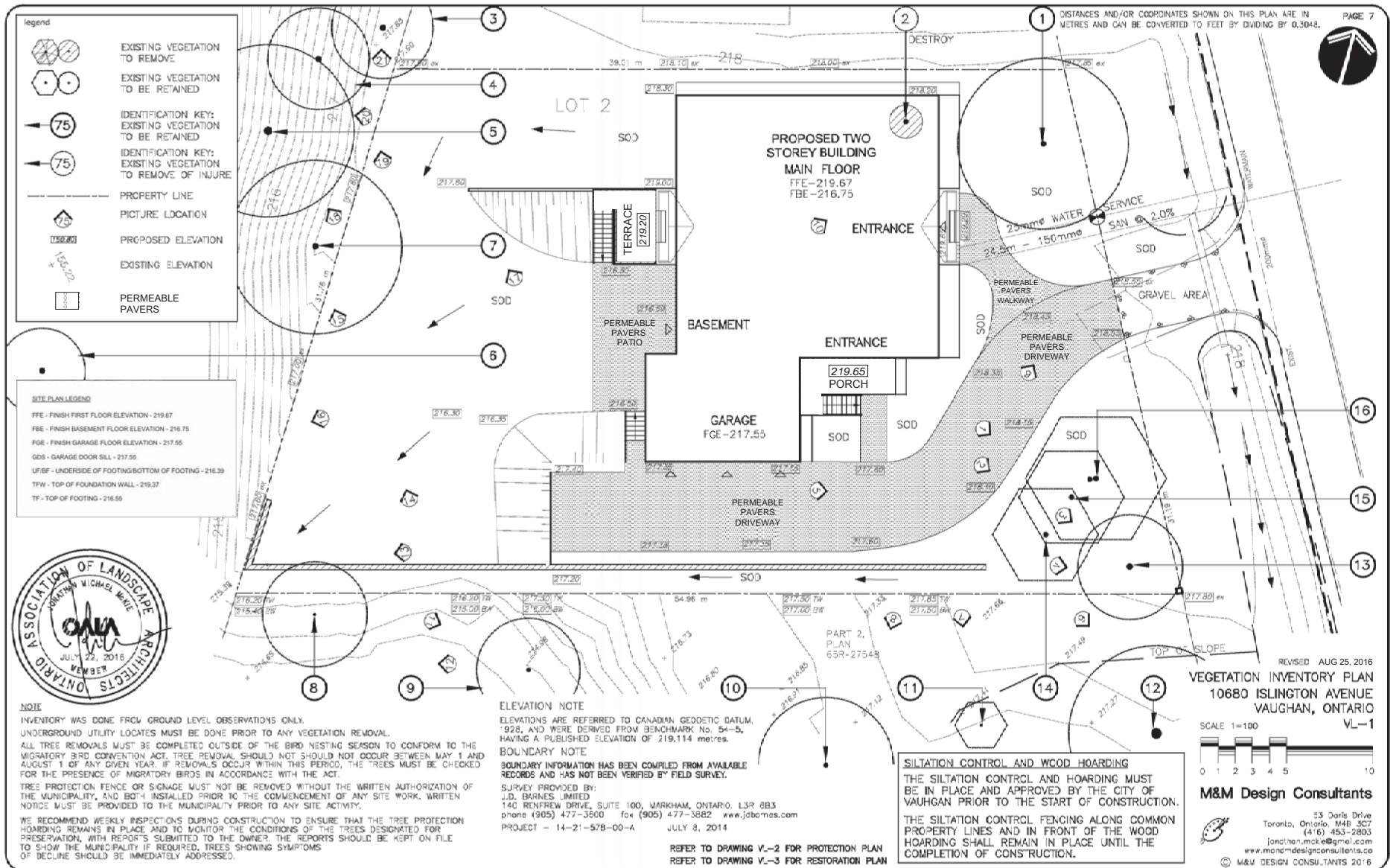
DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

PAGE 11

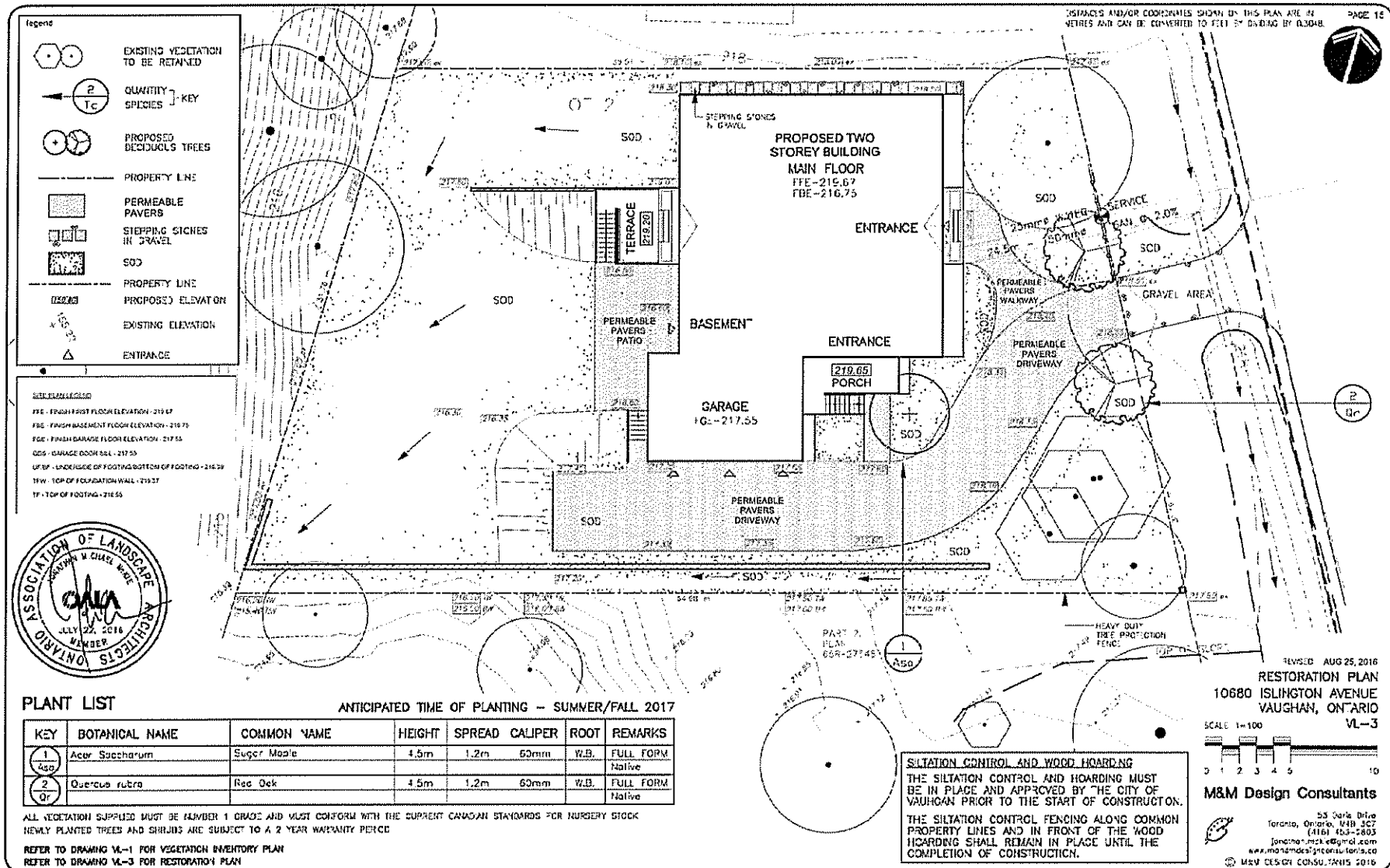




# Attachment 4 d) Vegetation Inventory Plan



# Attachment 4 Restoration Plan







## Proposed Residence

10680 Islington Ave - Vaughan

## The Overall Goal

The overall goal of the Heritage District plan is to ensure the retention of the District's heritage resources and to guide change so that it contributes to and does not detract from the District's architectural, historical, and contextual character.

## Georgian Neo-Classical

### 1800-1830

- Brick or frame construction
- Low slope hipped roof
- Centre hall plan
- Symmetrical façade
- Porch and/or gable at front door
- Brick chimneys
- Corbelled brick
- Low slope roof, approx. 6:12
- Simple wood fascia and eaves
- Wood clapboard
- Brick or stone construction (stucco less often)
- Central door with transom and/or sidelights
- Symmetrical façade, usually 3 or 5 bays





## Georgian Style

### Origins

The Georgian Style was brought to Upper Canada (Canada, prior to 1867, was known as Upper Canada - Ontario and the west - and Lower Canada - anywhere down the St. Lawrence River) by United Empire Loyalists, the citizens who decided to remain loyal to the crown in the war between England and the United States (1755 - 1778). By 1780, a significant number of people were emigrating to Canada from Great Britain, and these people brought with them the Georgian style, among others, as well.

### Georgian Architecture

Their first homes were log houses. These were replaced by solid stone, brick or clapboard buildings as soon as possible. The style was cumulative of architectural fashion in Britain during the reign of the first three King Georges of England (1750 - 1820). Georgian architecture in Britain and in Canada was a modification of the Renaissance

style adapted throughout Europe during the 18th century. It was a variation on the Palladian style which was known for balanced façades, muted ornament, and minimal detailing. Simplicity, symmetry, and solidity were the elements to be strived for. The Upper Canadian at this time wanted a sturdy house that reflected his simple dignity. These houses were very much more than the need for shelter. AS Ann MacRae has stated, they were "a physical expression of the cultural mental climate of the first settlers of Upper Canada". (MacRae, p. 4) Log houses were good shelters, but they were not architectural. The floor plans and details were constructed according to the English Georgian styles and were meant to give the same impression. The site was chosen with great care to afford the most pleasant view for the new occupants.

Georgian houses are generally so well built that they are virtually unchanged 200 years later. The style is so pleasing that it is used extensively in Colonial Revival subdivisions in the late 20th century.

#### Goderich

Like the rest of the house, a Georgian fence is sturdy and solid. It makes a statement. You need small plasterers to make it work.



Goderich Ontario

#### Shores of Lake Ontario

All along the east of Lake Ontario small communities were popping up. The escarpment provided a good source of stone and relatively easy access to a major waterway provided glass and other building materials from England and later from the United States. Field stone and quarried limestone are both used on the Georgian buildings in this area.

#### Pictou

This house is gorgeous any time of year but really spectacular in autumn.

A five bay Georgian with traditional shutters and door, the windows were replaced later in the 19th century.



Pictou Ontario

#### Goderich

There is no doubt that this is one of the most spectacular Georgian houses in the province, if not in the country.



Goderich Ontario

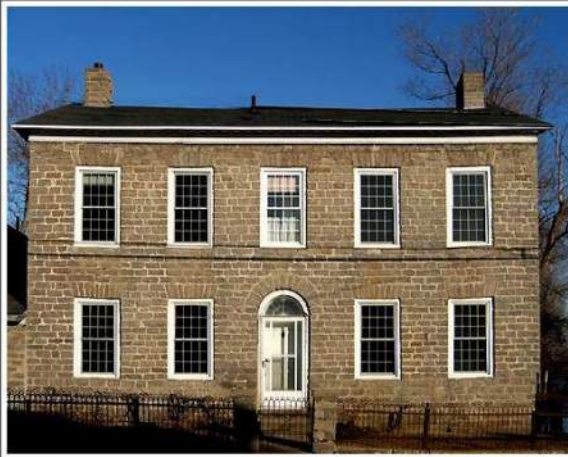


## Georgian Style

### Maitland

Georgian features of this simple stone house in Maitland include sash windows, symmetrical five bays, half-round fanlight over the door, and a gable roof with two chimneys. The windows have simple jack arches, and the door has a half-round arch with cut-stone voussoirs. There is a simple stone band under the second floor windows and a simple cornice.

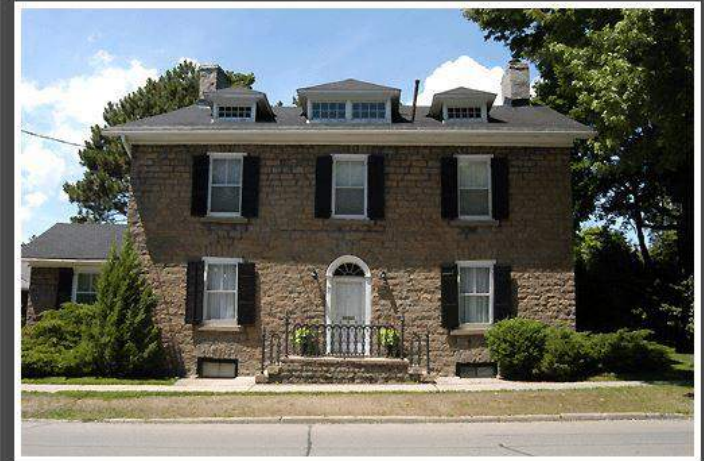
For anyone interested in Georgian or stone building, a trip to Maitland will be worth it. There are many original stone buildings as well as a stone tower overlooking the St. Lawrence River.



Maitland Ontario

### Brockville

This main street house in Brockville is a smaller version of the above. Notice how both have round headed arches above the door. This seems to be a regional variation.

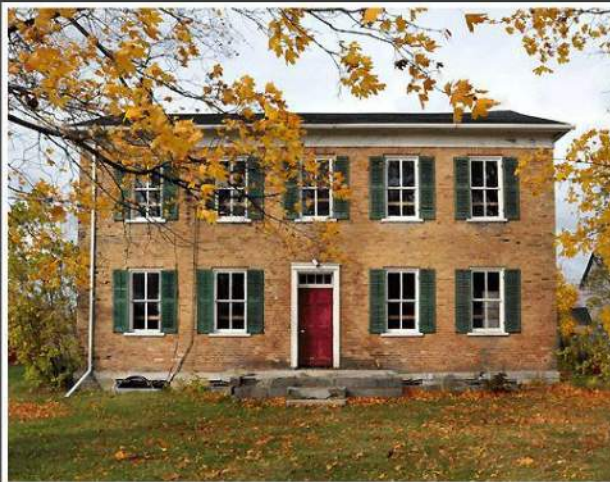


Brockville

### Picton

This house is gorgeous any time of year but really spectacular in autumn.

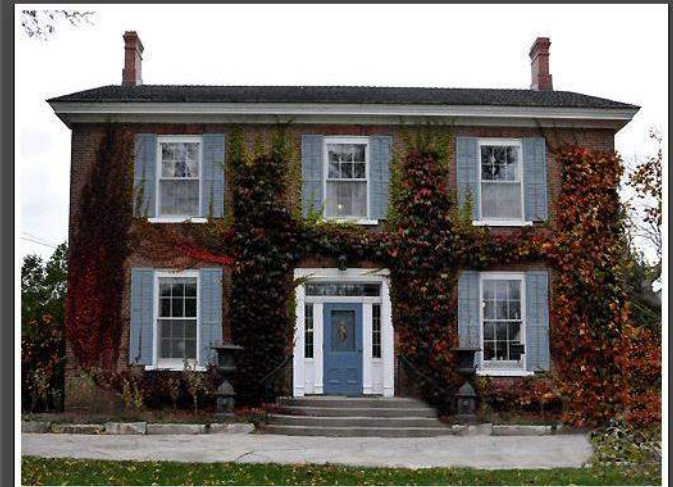
A five bay Georgian with traditional shutters and door, the windows were replaced later in the 19th century.



Picton Ontario

### Grafton

Georgian buildings will be squared off with quoins. These are large masonry units projecting vertically up the corners of the structure and along the sides of doors and windows. In fact the word quoin comes from the French word for corner; they are used to provide straight edges for wooden door and window frames as well as a clean overall profile. This beautiful residence in Grafton is as clean and precise as you can get. The Virginia Creeper softens the look, but it is still sturdy and dependable.



Grafton Ontario





## Georgian Style



403 Queen Street South, Hamilton, ON



Whistler House, 438 Malabar Drive, Waterloo, ON

## Georgian Style

### Canada Farmer 1865

This image is taken from the April 15 1865 issue of Canada Farmer magazine, now thankfully digitized by CIHM. It shows the elevation for a Two Story Farm House. Plans are shown below.

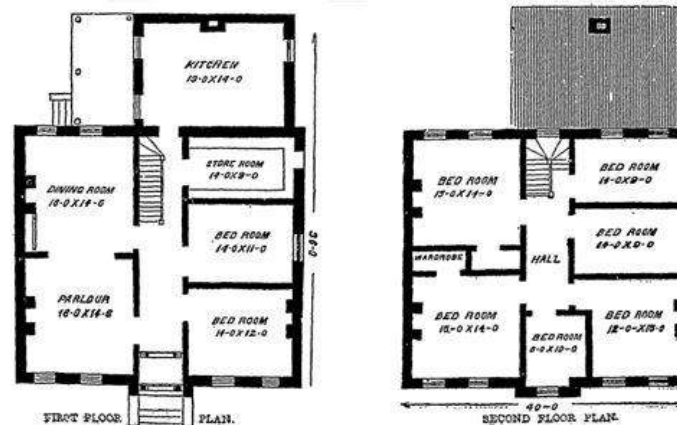
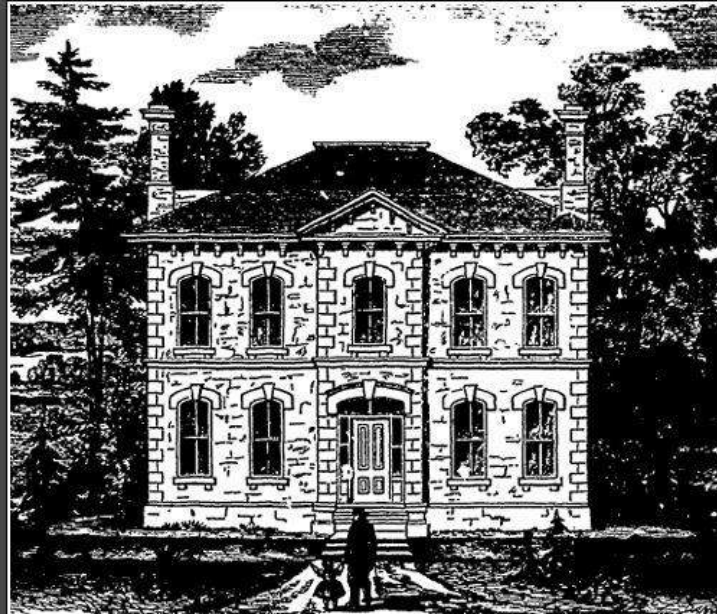
The design was printed in response to a request from a reader. The writer provides the plans with this salutation

"Having received the desired information, we have had plans prepared which we trust will meet the case, or at least form a useful study for the intending builder and his good lady, who will of course have the chief voice in the affair" p. 116

Some things don't change.

### Canada Farmer 1865

Wedge between information on the new, improved milking stool and how to cultivate Concord grapes, are the plans for the most prevalent design within the Italianate category. Note that there are enough bedrooms for a large extended family and servants. This central hall plan was the basis for most residences prior to the ground breaking work of the Arts and Crafts movement who built rooms according to access to sunlight and interior space.







Vaughan



Capner House, 10072 Islington Ave.



## Georgian Style



Hamilton's Whitehern  
41 Jackson Street West, Hamilton, ON



## Georgian Style



Hamilton's Whitehern  
41 Jackson Street West, Hamilton, ON





Proposed Residence: 10680 Islington Ave., Vaughan



Proposed Front Perspective View





## Proposed Residence: 10680 Islington Ave., Vaughan



Proposed Garage Perspective View





Proposed Residence: 10680 Islington Ave., Vaughan



Proposed Rear Perspective View





Proposed Residence: 10680 Islington Ave., Vaughan



Proposed Rear Perspective View



Proposed Residence: 10680 Islington Ave., Vaughan

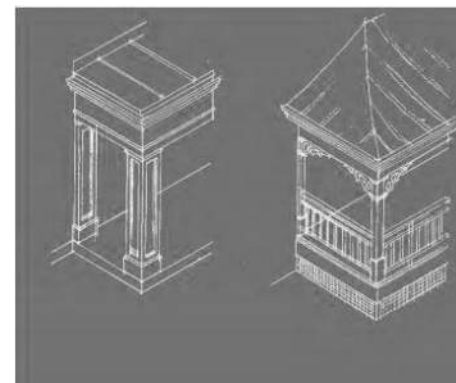


Proposed Aerial Perspective View





## Proposed Residence: 10680 Islington Ave., Vaughan



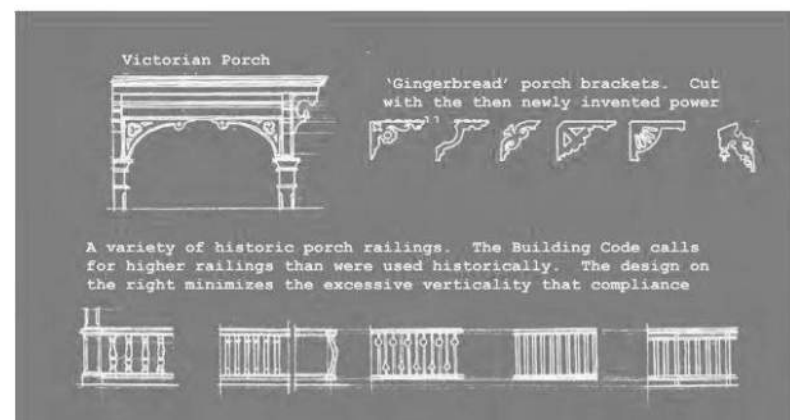
Classical Revival (left)  
Wood columns, flat metal  
roof

Victorian (right)  
Wood columns, with ornate  
brackets.  
'Bell-cast' curved metal

Kleinburg-Nashville Heritage Conservation District Study and Plan 90

### 9.2.3 HERITAGE DESIGN AND DETAILS

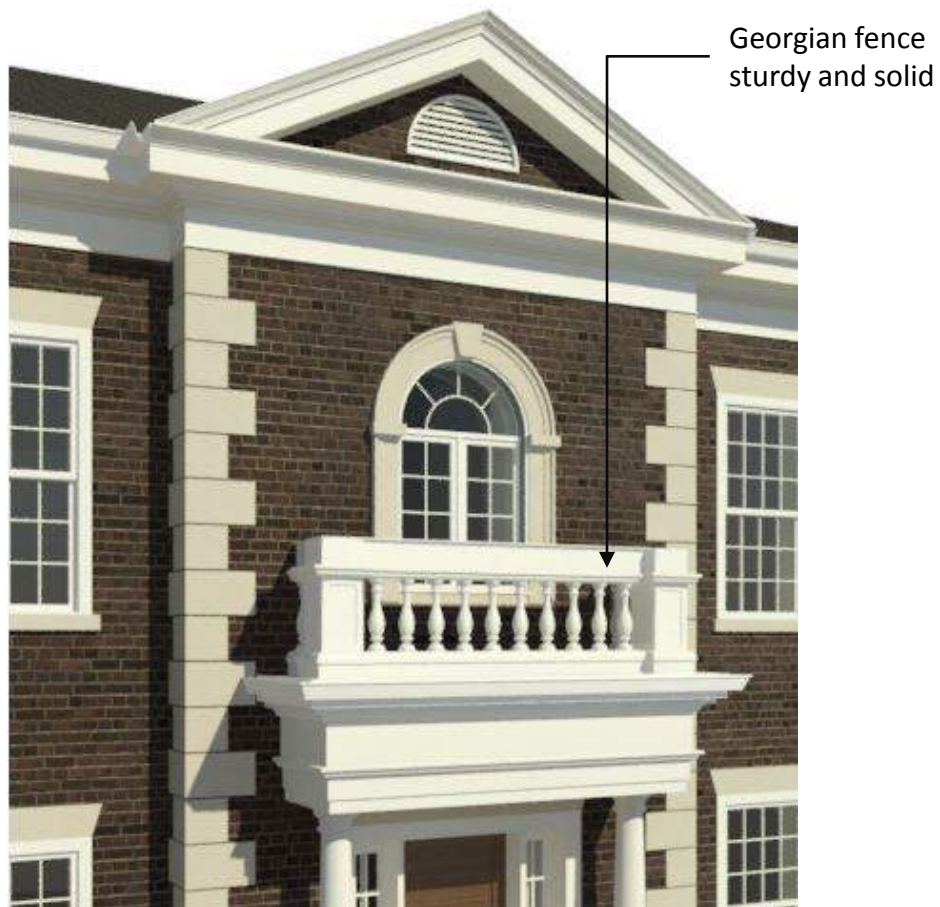
#### PORCH DETAILS



## Proposed Details



Proposed Residence: 10680 Islington Ave., Vaughan



Proposed Details





## Proposed Residence: 10680 Islington Ave., Vaughan



Solid wood panel  
entrance door with  
Georgian style sidelights

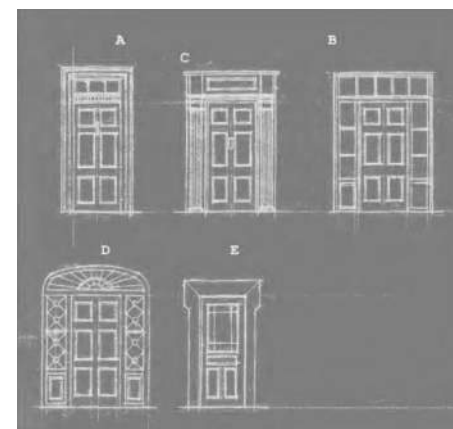
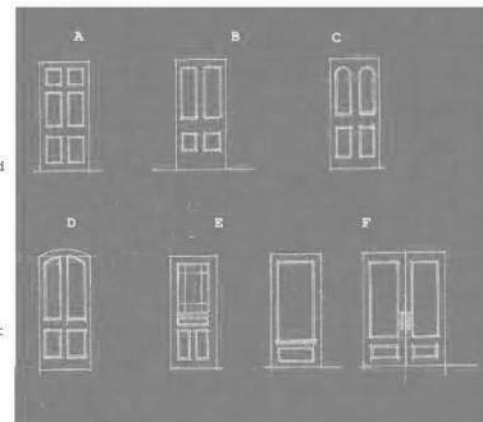
Kleinburg-Nashville Heritage Conservation District Study and Plan 84

### 9.2.3 HERITAGE DESIGN AND DETAILS

#### DOORS

- A. 'Cross and Bible'  
Door
- B. Four Panel Door
- C. Four Panel Round Head  
Door

- D. Arched-head Four  
Panel Door
- E. Glazed Wood Panel  
Door
- F. Glazed Wood Shopfront  
Door



#### ENTRANCES

- A. Solid panel door with  
transom and wood casing.
- B. Solid panel door with  
classical cornice
- C. Solid panel door with  
transom and sidelights.
- D. Solid panel door with  
decorative sidelights and  
fanlight transom.
- E. Wood panel door with  
decorative glazing and  
eared casing.

### Proposed Details



## Proposed Residence: 10680 Islington Ave., Vaughan

Geometrical proportions  
application in elevation



Kleinburg-Nashville Heritage Conservation District Study and Plan 83

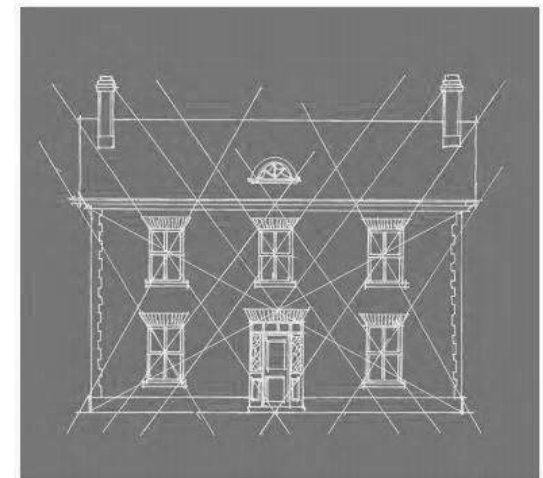
### 9.2.3 HERITAGE DESIGN AND DETAILS

#### COMPOSITION

The elevations of heritage buildings, whether designed by an architect or by a builder using a "pattern book", were usually laid out using geometrical principles and geometrically derived proportions. Knowledge of how heritage buildings were originally composed can be helpful in designing a new building that will fit well in the heritage context. See Section 10.2 for some examples.

Geometry governed most heritage design. In this example, the diagonals of the window openings relate to significant elements in the elevation and to each other. The diagonals of the main wall relate to the windows and front door keystone, as well.

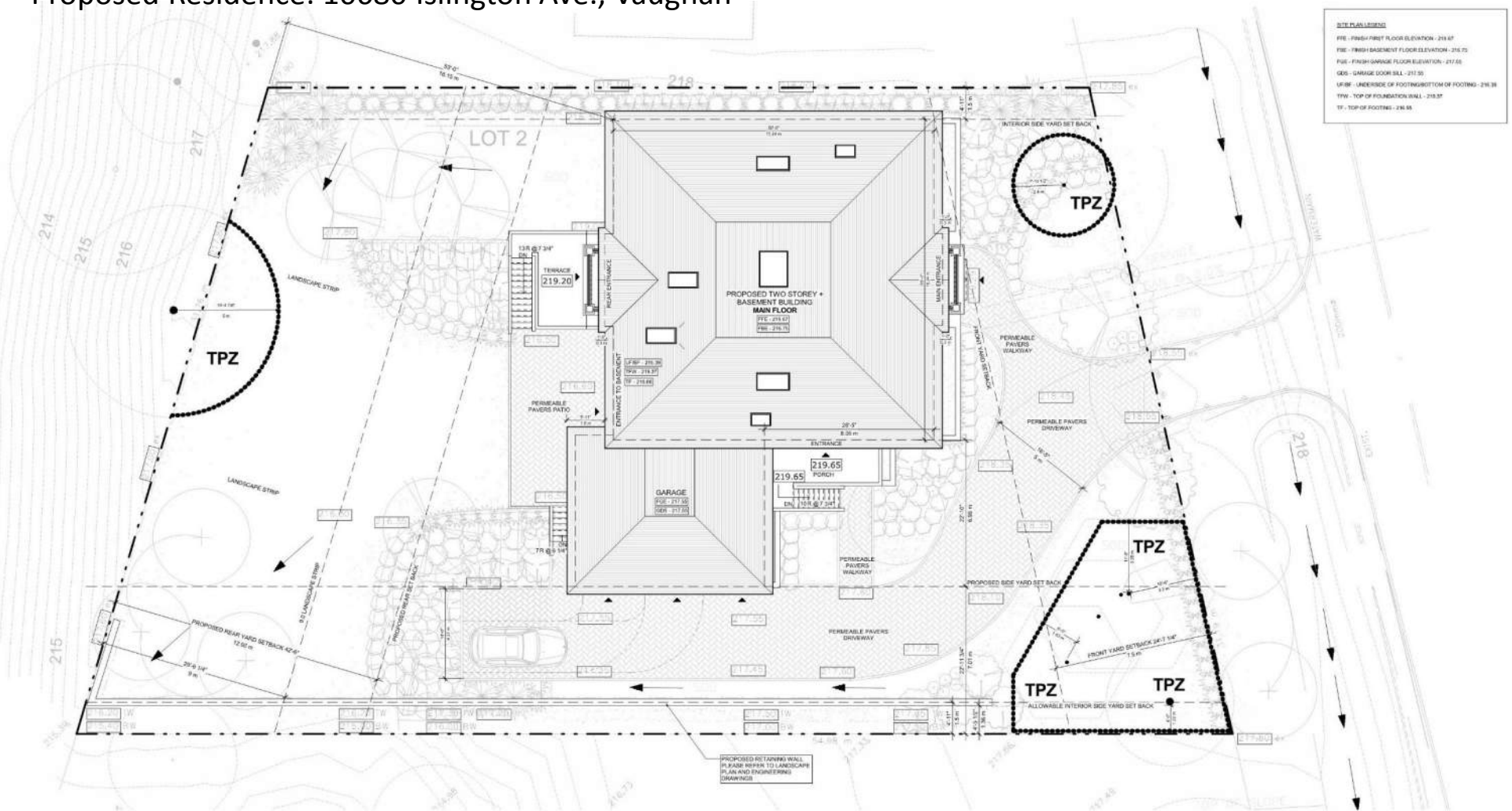
If a building is pleasing to the eye, it is probably rich in such



## Proposed Details



## Proposed Residence: 10680 Islington Ave., Vaughan

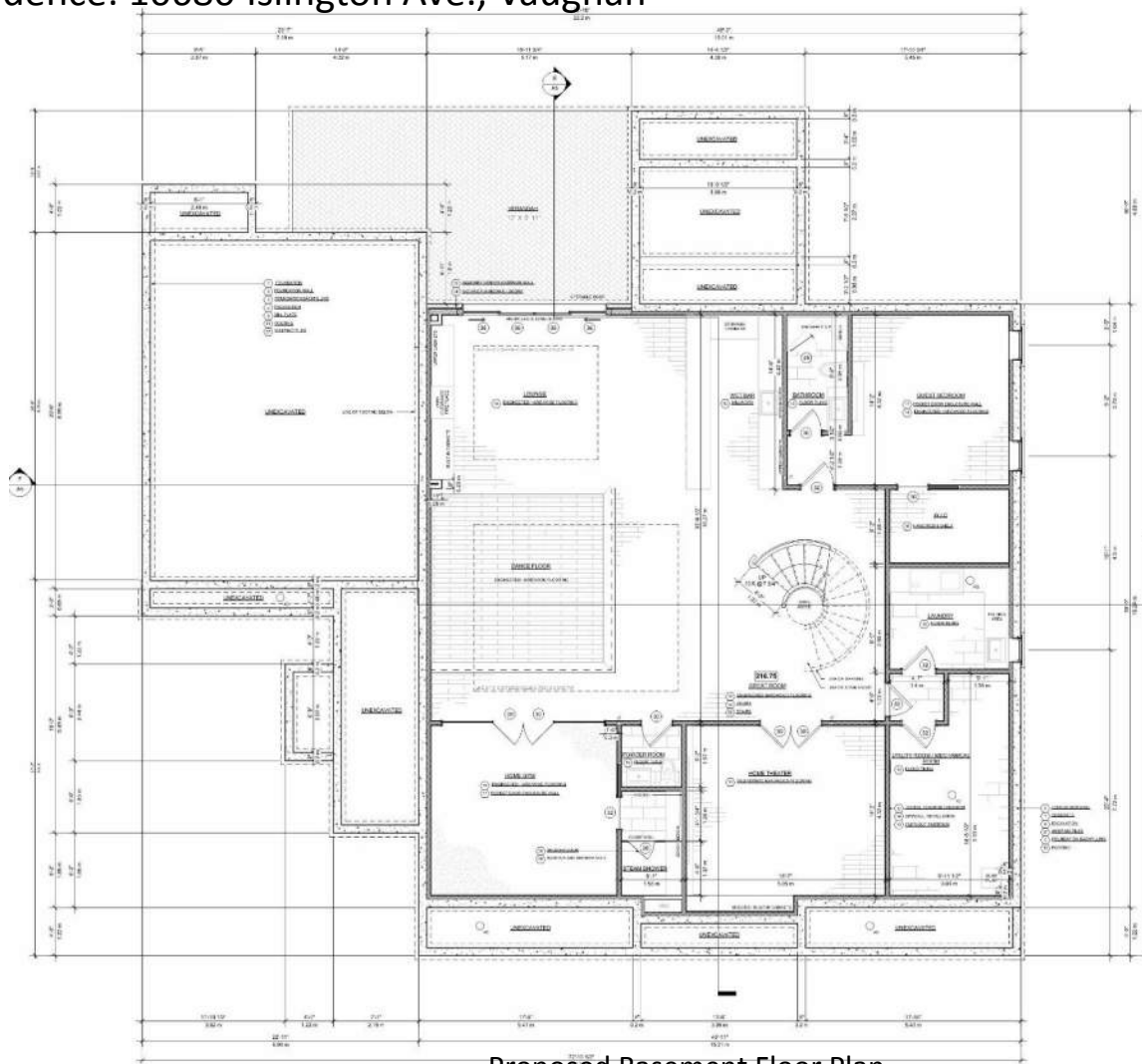


Proposed Site Plan





## Proposed Residence: 10680 Islington Ave., Vaughan

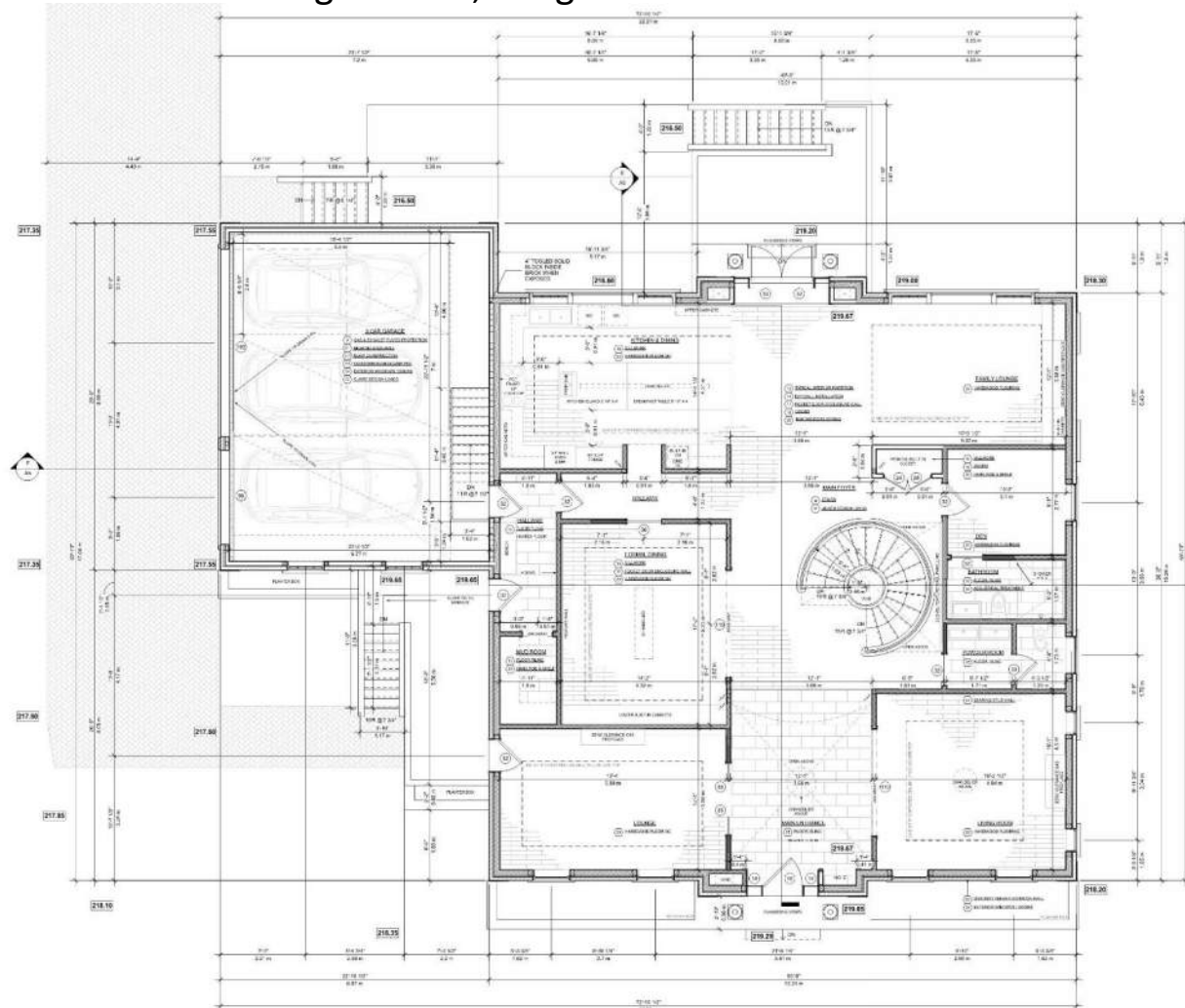


1:200

Proposed Basement Floor Plan



## Proposed Residence: 10680 Islington Ave., Vaughan

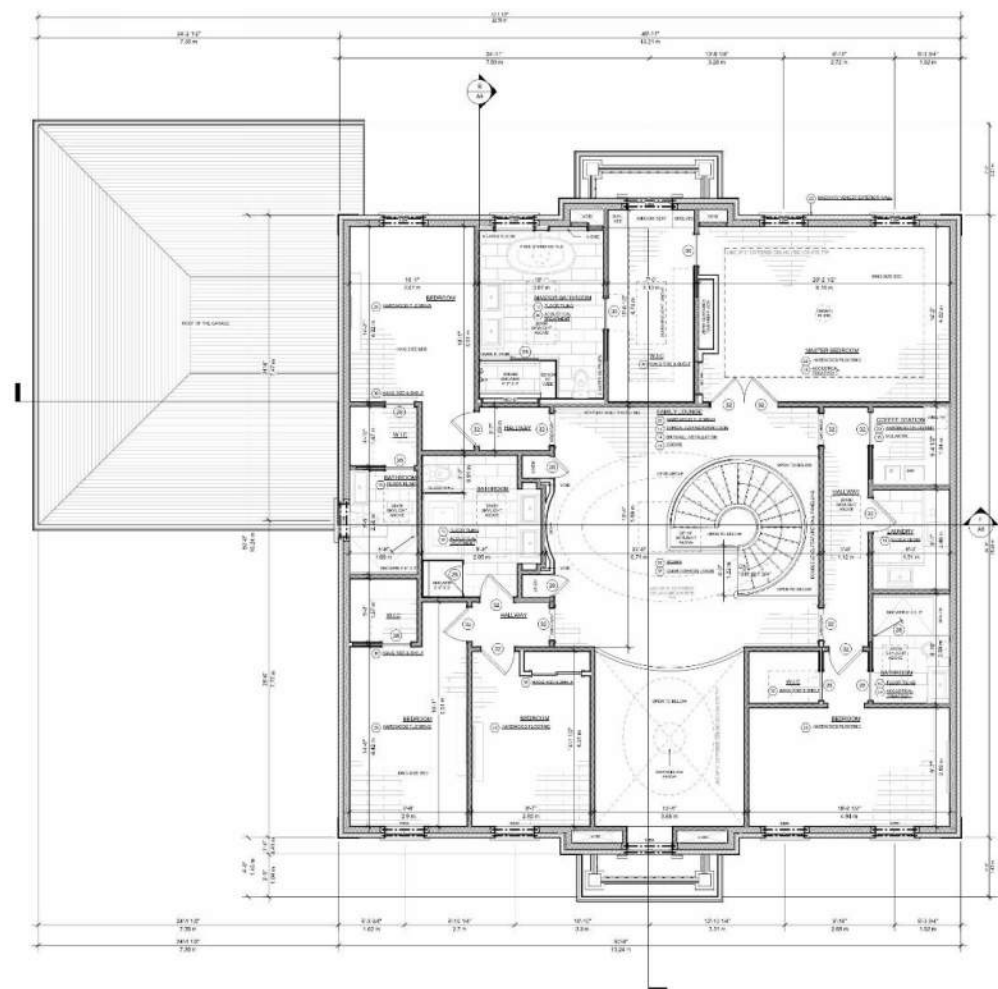


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Proposed Ground Floor Plan



## Proposed Residence: 10680 Islington Ave., Vaughan



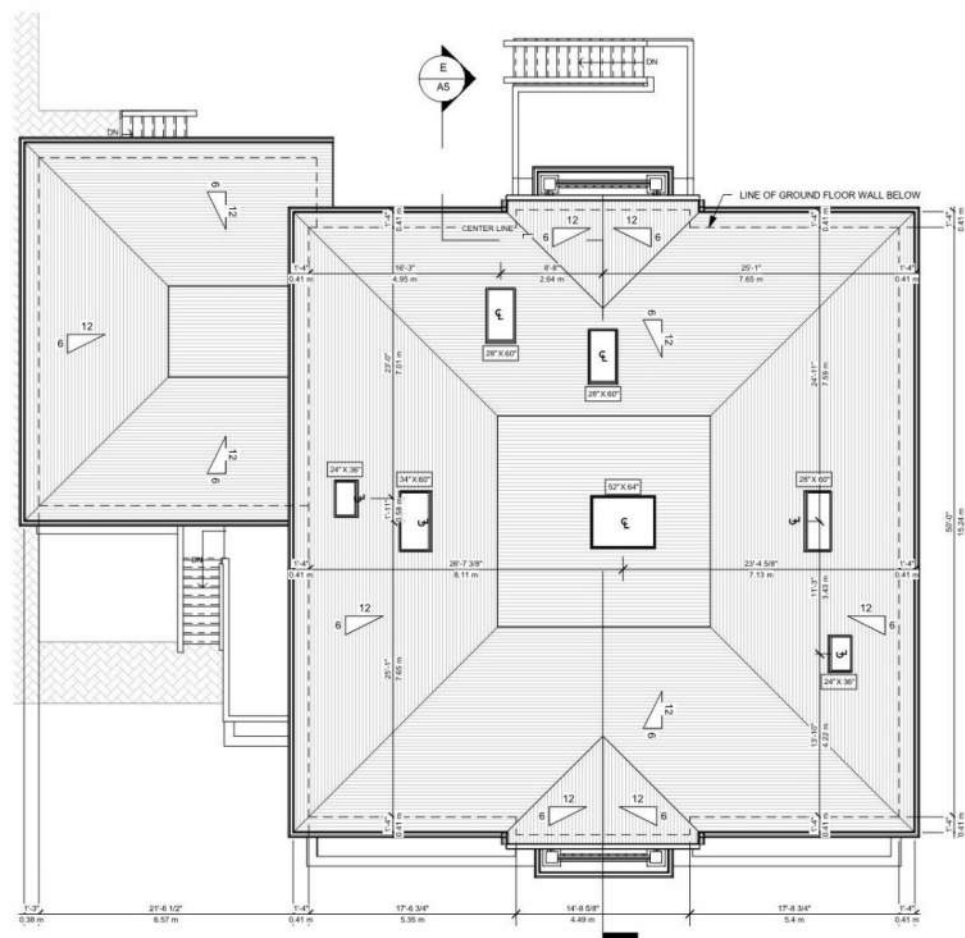
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Proposed Second Floor Plan





## Proposed Residence: 10680 Islington Ave., Vaughan

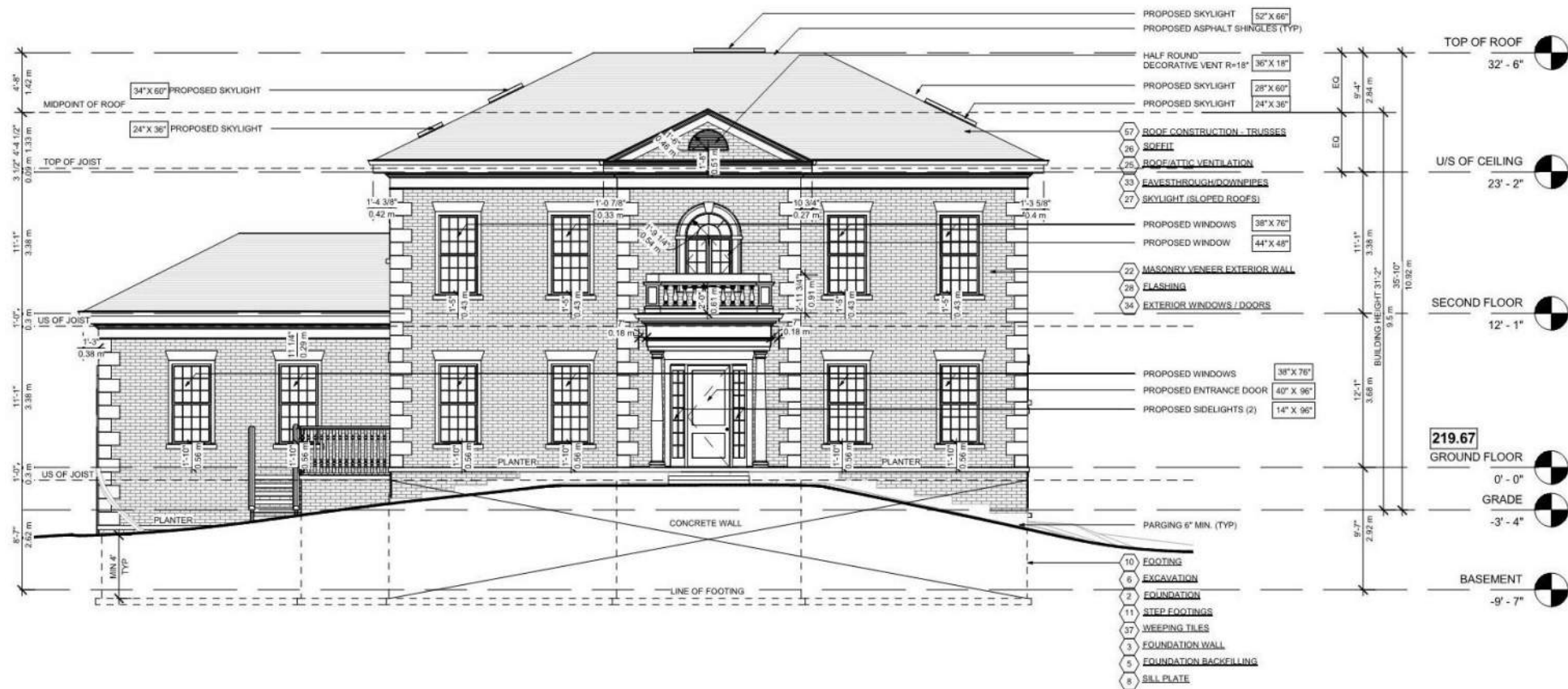


1:200

Proposed Roof Plan



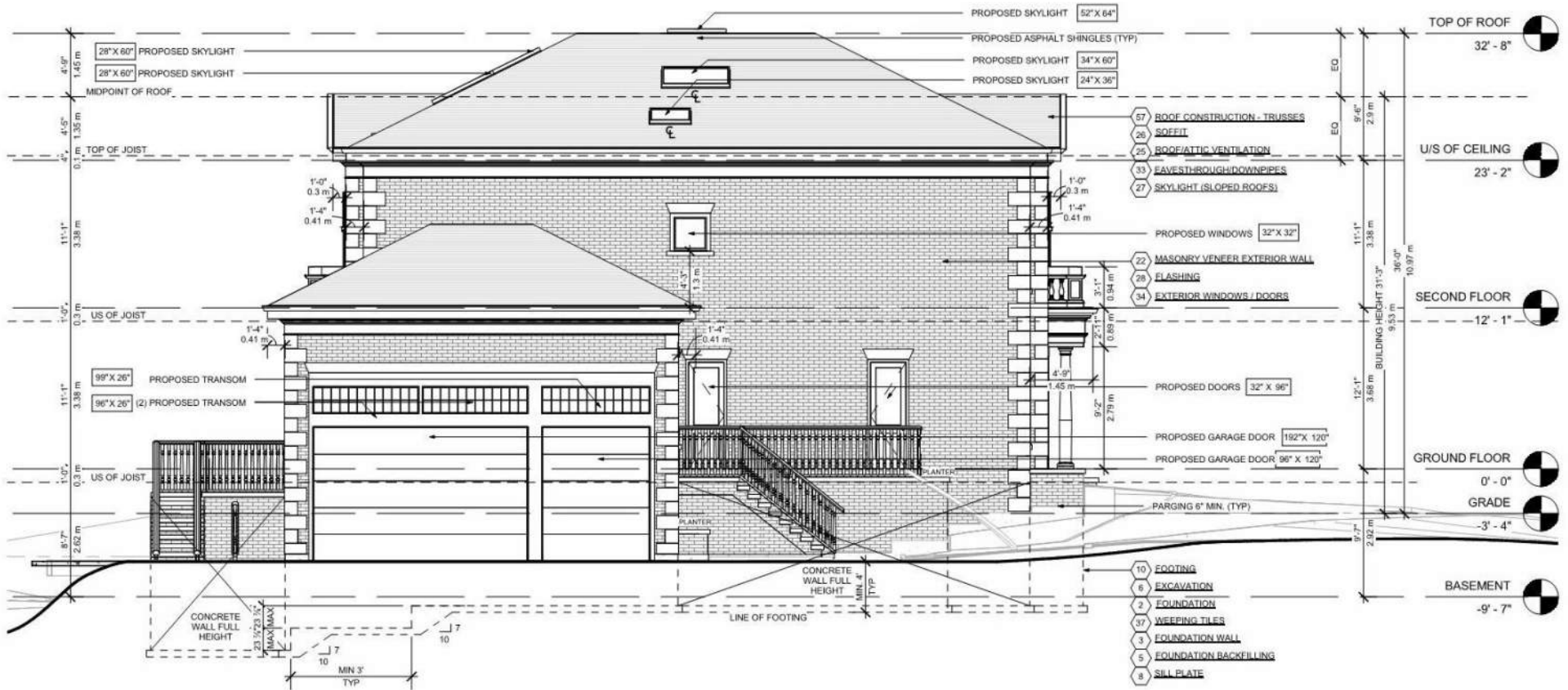
## Proposed Residence: 10680 Islington Ave., Vaughan



1:200

Proposed Front Elevation

## Proposed Residence: 10680 Islington Ave., Vaughan



1:200

Proposed West Elevation



## Proposed Residence: 10680 Islington Ave., Vaughan

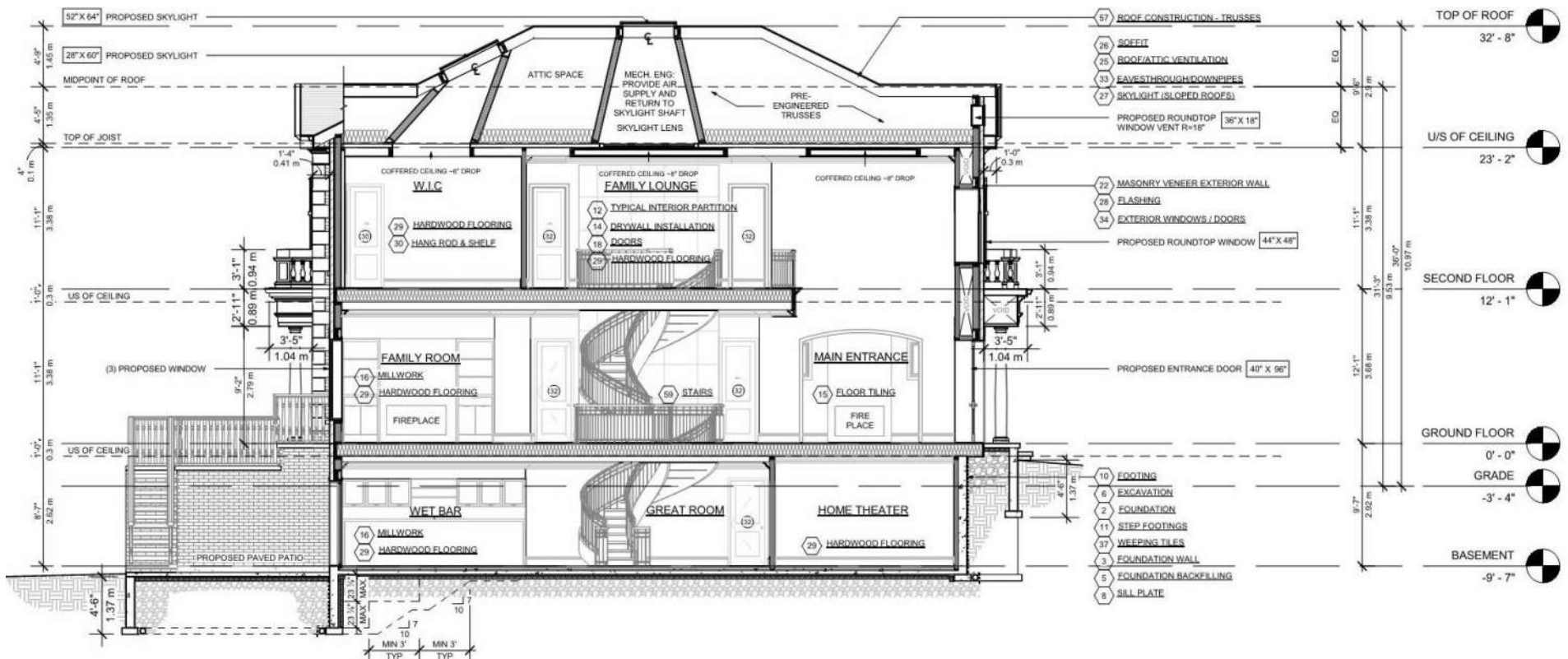


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Proposed Rear Elevation



## Proposed Residence: 10680 Islington Ave., Vaughan

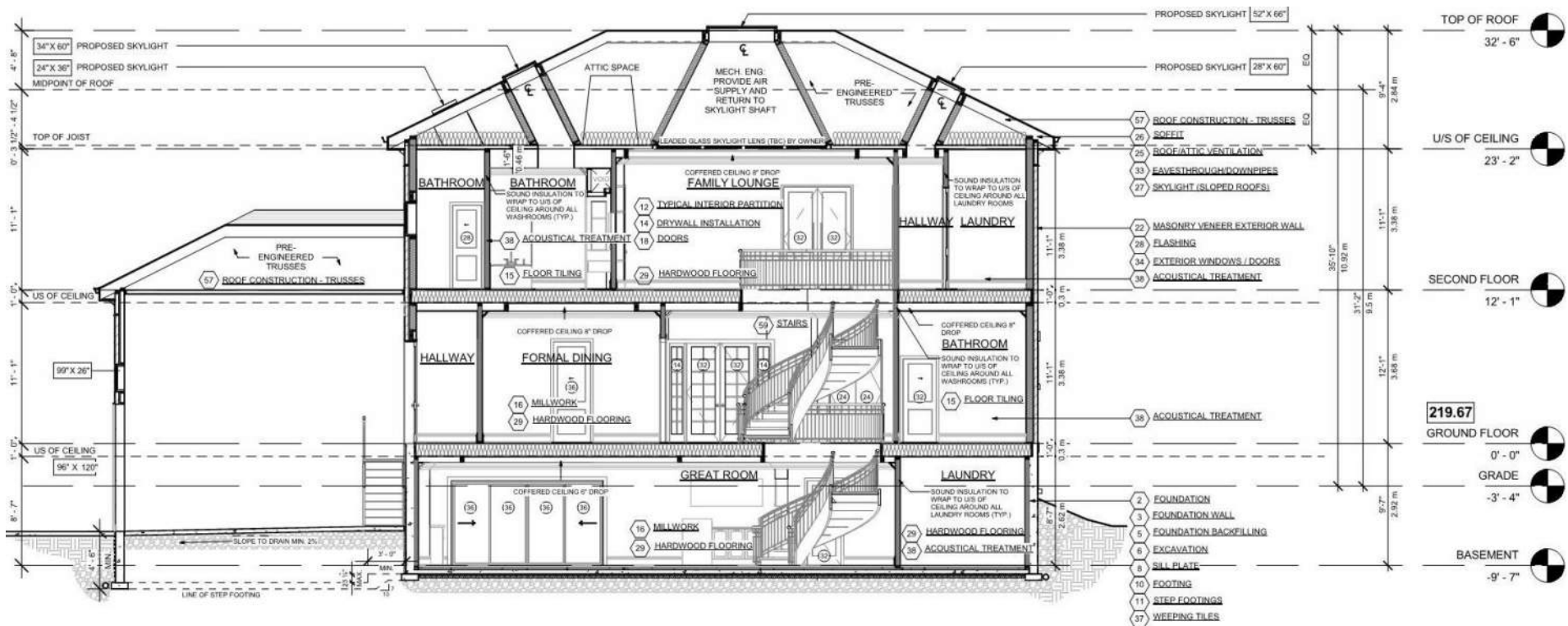


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Proposed N-S Section



## Proposed Residence: 10680 Islington Ave., Vaughan



1:200

Proposed E-W Section

# ***THE CITY OF VAUGHAN***

# ***BY-LAW***

## **BY-LAW NUMBER 184-2016**

**A By-law to amend City of Vaughan By-law 1-88, as amended by By-law 220-2010.**

**WHEREAS** the matters herein set out are in conformity with the Official Plan of the Vaughan Planning Area, which is approved and in force at this time;

**AND WHEREAS** there has been no amendment to the Vaughan Official Plan adopted by Council but not approved at this time, with which the matters herein set out are not in conformity;

**NOW THEREFORE** The Council of The Corporation of The City of Vaughan **ENACTS AS FOLLOWS:**

1. That City of Vaughan By-law Number 1-88, as amended, be and it is hereby further amended by:
  - a) Deleting Part “A” to Exception 9(1347) thereby deleting all reference to the Holding Symbol “(H)” in the said Exception 9(1347).
  - b) Deleting Schedule “E-1475” and substituting therefor the Schedule “E-1475” attached hereto as Schedule “1” thereby deleting the Holding Symbol “(H)”.
  - c) Deleting Key Map 8E and substituting therefor the Key Map 8E attached as Schedule “2”, thereby deleting the Holding Symbol “(H)” as it pertains to the lands shown as “Subject Lands” on Schedule “E-1475”.
2. Schedules “1” and “2” shall be and hereby form part of this By-law.

Enacted by City of Vaughan Council this 13<sup>th</sup> day of December, 2016.

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Hon. Maurizio Bevilacqua, Mayor

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Jeffrey A. Abrams, City Clerk

### **SUMMARY TO BY-LAW 184-2016**

The lands subject to this By-law are located on the west side of Islington Avenue, north of Nashville Road, designated as Part 1 on Plan 65R-27548, Part of Lot 25, Concession 8, City of Vaughan. Municipally known as 10680 Islington Avenue.

The purpose of this By-law is to remove the Holding Symbol "(H)" from the subject lands, which are zoned R1(H) Residential Zone with the addition of the Holding Symbol "(H)" by Zoning By-law 1-88, subject to Exception 9(1347) to facilitate the development of one detached dwelling unit located within the Kleinburg-Nashville Heritage Conservation District.

The subject lands were originally zoned with the Holding Symbol "(H)" by By-law 220-2016, until such time that the following conditions were satisfied:

- i) the Site Development Application is approved by Vaughan Council; and,
- ii) the Region of York confirms that adequate water and sewage capacity are available to service the lands, or part thereof, and are allocated by the City.

The Holding Symbol "(H)" can be removed, as the conditions respecting the holding provisions have been satisfied as follows effectively zoning the subject lands, R1 Residential Zone:

- i) Vaughan Council, at its January 29, 2013 meeting, ratified the December 4, 2012 Committee of the Whole, recommendation to delegate Site Development Approval for a detached dwelling unit in a Heritage Conservation District (Kleinburg-Nashville Heritage Conservation District) and not located within a registered plan of subdivision or subject to architectural control to the Deputy City Manager, Planning and Growth Management (formerly the Commissioner of Planning). However, Vaughan Council, at its December 13, 2016 meeting, ratified the October 19, 2016 Heritage Vaughan Committee recommendation to approve the proposed development for a detached dwelling unit, subject to conditions, in accordance with the *Ontario Heritage Act*.
- ii) The Development Engineering and Infrastructure Planning Department have advised that the subject lands have received water and sewage capacity allocation for one detached dwelling unit.