

**CITY OF VAUGHAN**

**EXTRACT FROM COUNCIL MEETING MINUTES OF JUNE 28, 2016**

Item 43, Report No. 27, of the Committee of the Whole, which was adopted without amendment by the Council of the City of Vaughan on June 28, 2016.

**43**

**BUILDING ADDITION TO 10 MILL STREET  
THORNHILL HERITAGE CONSERVATION DISTRICT  
WARD 5 - VICINITY OF YONGE STREET AND CENTRE STREET**

**The Committee of the Whole recommends:**

- 1) That the Heritage Vaughan recommendation contained in the following report of the City Clerk, dated June 21, 2016, be approved; and**
- 2) That the deputation by Mr. Corey Bakocs, Netthaus Design-Build, Cartier Crescent, Richmond Hill, be received.**

**Recommendation**

The City Clerk, on behalf of the Heritage Vaughan Committee, forwards the following recommendation from its meeting of June 15, 2016 (Item 4, Report No. 4) for Council's consideration:

The Heritage Vaughan Committee recommends:

- 1) That the recommendation contained in the following report of the Director of Development Planning, dated June 15, 2016, be approved;
- 2) That the 3D renderings identified as Attachment 5 not be approved; and
- 3) That the following deputations be received:
  1. Mr. Corey Bakocs, Netthaus Design-Build, Cartier Crescent, Richmond Hill; and
  2. Mr. Eric Hemdon, Netthaus Design-Build, Cartier Crescent, Richmond Hill.

Report of the Director of Development Planning, dated June 15, 2016

**Recommendation**

The Director of Development Planning recommends:

1. THAT Council approve the proposed addition to a single detached house and new construction of a detached garage at 10 Mill Street under Section 42 of the *Ontario Heritage Act*, subject to the following conditions:
  - a) any significant changes to the proposal by the Owner, may require reconsideration by Heritage Vaughan Committee, which shall be determined at the discretion of the Director of Development Planning;
  - b) that Heritage Vaughan Committee recommendations to Council do not constitute specific support for any Development Application under the *Ontario Planning Act* or permits or requirements currently under review or to be submitted in the future by the applicant as it relates to the subject application.

## **CITY OF VAUGHAN**

### **EXTRACT FROM COUNCIL MEETING MINUTES OF JUNE 28, 2016**

Item 43, CW Report No. 27 – Page 2

#### **Contribution to Sustainability**

This report is consistent with the goals and objectives within *Green Directions Vaughan*, the City's Community Sustainability and Environmental Master Plan, specifically:

Goal 4: To create a vibrant community where citizens, business and visitors thrive

*Objective 4.1: "To foster a city with strong social cohesion, an engaging arts scene, and a clear sense of its culture and heritage"*

#### **Economic Impact**

There are no requirements for new funding associated with this report.

#### **Communications Plan**

All materials related to the Heritage Vaughan Committee are posted on the City's website.

#### **Purpose**

The purpose of this report is for the Heritage Vaughan Committee to consider the proposed addition to an existing building at 10 Mill Street and new construction of a detached garage to a Part V Designated property located in the Thornhill Heritage Conservation District.

#### **Background - Analysis and Options**

##### **Location, Heritage Status, and Policies**

The property municipally known as 10 Mill Street is located on the north side of Mill Street, a street that runs perpendicular to Yonge Street and is access by Old Yonge Street off of Centre Street. The subject property is located in the Thornhill Heritage Conservation District (HCD) and is therefore Designated Part V under the Ontario Heritage Act.

The existing building on the subject property is a Modernist bunker-style single detached residence constructed in 1969. The house is clad in cedar shingles and only one storey is visible to the Mill Street as the rest of the house scales back into the valley lands to the rear of the property.

The subject property is a contributing property to the Heritage Conservation District and the building on the property is identified as a non-contributing style that does not relate to one of the heritage styles noted in Section 9.1. As a result, policies that pertain to existing non-heritage style building – Sections 4.3 and 9.4 – shall apply.

##### **Proposed Addition**

The proposal includes the retention of the existing bungalow in addition to increasing the height to 2 storeys and generally enlarging the entire building. A detached single storey garage and deck are also proposed for the property. All new construction is proposed in the same architectural style with the addition clad in a similar siding material to match the existing portion and will have a shed roof sloping back.

The proposal conforms to the policies noted above regarding non-heritage style buildings as the additions and new construction enlarges the building while respecting the existing modernist architectural style of the building.

## **CITY OF VAUGHAN**

### **EXTRACT FROM COUNCIL MEETING MINUTES OF JUNE 28, 2016**

Item 43, CW Report No. 27 – Page 3

#### **Variance Proposed**

The applicant will be applying for relief from the City of Vaughan Zoning By-law 1-88 for a reduced front yard setback of 5.5 metres. The current City of Vaughan Zoning By-law 1-88 requires a minimum 9 metre front yard setback. As a Committee of Adjustment application has not been officially submitted to the City yet, this variance is not yet confirmed and additional variances may be identified. Additional variances may require this application to return to the Heritage Vaughan Committee at the discretion of City staff.

#### **Relationship to Term of Council Service Excellence Strategy Map (2014-2018)**

This report relates to the Term of Council Service Excellence Strategy Map (2014-2018) by supporting the following initiative:

- Support and promote arts, culture, heritage and sports in the community

#### **Regional Implications**

N/A

#### **Conclusion**

Cultural Heritage staff in the Development Planning Department recommends approval of the proposed addition, deck and detached garage as it complies with the policies and guidelines within the Thornhill Heritage Conservation District.

#### **Attachments**

1. Location Map
2. Subject Property and Context Photos
3. Existing Site Plan and Elevations
4. Proposed Site Plan and Elevations
5. 3D Rendering of Proposed House

#### **Report prepared by:**

Daniel Rende, Cultural Heritage Coordinator, ext. 8112  
Moir Wilson, Senior Urban Designer, ext. 8353  
Rob Bayley, Manager of Urban Design and Cultural Heritage, ext. 8254

(A copy of the attachments referred to in the foregoing have been forwarded to each Member of Council and a copy thereof is also on file in the office of the City Clerk.)

**BUILDING ADDITION TO 10 MILL STREET  
THORNHILL HERITAGE CONSERVATION DISTRICT  
WARD 5 - VICINITY OF YONGE STREET AND CENTRE STREET**

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### **Report prepared by:**

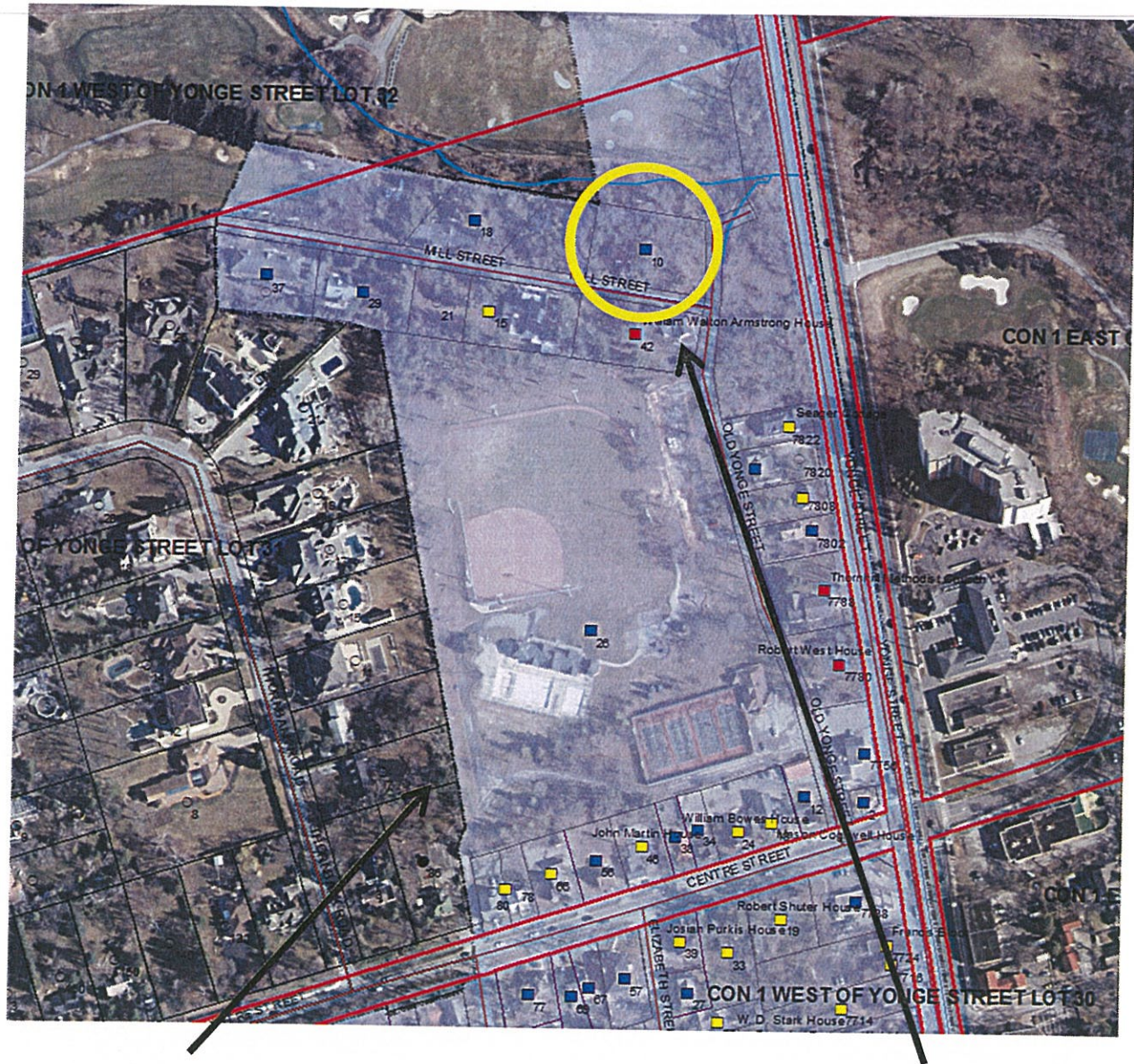
Daniel Rende, Cultural Heritage Coordinator, ext. 8112

Moir Wilson, Senior Urban Designer, ext. 8353

Rob Bayley, Manager of Urban Design and Cultural Heritage, ext. 8254



Location Map



Thornhill HCD (Blue shaded area)

10 Mill Street

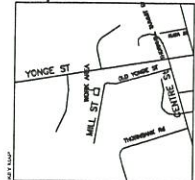


Attachment 2



Subject Property – photos of front and rear provided by applicant





Attachment 3

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PIN 03259 - 0792  
LOT 8  
(P1&Set)  
40.23(RP)  
39.62

PIN 03259-0791  
LOT 9 RANGE A

REGISTERED PLAN 328

PIN 03259 - 0808

NO FENCE  
PART 1, PLAN 64R-7501

NO FENCE  
PART 1, PLAN 64R-7501

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PART 1, PLAN 64R-7501

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PART 1, PLAN 64R-7501

No. 18  
1 STOREY  
BASEMENT  
STONE  
DOWELL

FRAME  
GARAGE

NB017'00"W NB017'40"W(P2)  
(Reference Bearing)  
N75°55'00"E(RP)

MILL STREET  
(by Registered Plan 328)  
PIN 03259 - 0790

- A1 - SITE PLAN
- A2 - BASEMENT PLAN
- A3 - LOWER FLOOR PLAN
- A4 - UPPER FLOOR PLAN
- A5 - ROOF PLAN
- A6 - SECTION
- A7 - EAST ELEVATION
- A8 - NORTH ELEVATION
- A9 - SOUTH ELEVATION

NETTHAUS  
DESIGN | DEVELOPMENT | BUILD

The undersigned has reviewed and takes responsibility for this design, and has been duly qualified under the provisions of the Building Code for the Province of Ontario.

REGISTRATION INFORMATION  
Required unless design is exempt  
2006 Ontario Building Code for  
2014 of the 1997 Ontario  
Building Code

No. Description  
01 PRELIMINARY PROPOSAL

Date (mm/dd/yy)  
09/11/15

SITE PLAN  
10 MILL STREET  
VAUGHAN, ONTARIO

Construction North  
N  
W E S

DWG No.  
A01  
Sheet 01 of 09  
Scale  
3/64" = 1'-0"

LOT AREA - 2682.18 SQFT (2481.8 SQM)  
PROPOSED BUILDING  
TOTAL GFA - 4894 SQFT (454.7 SQM)  
FIRST FLOOR - 1462 SQFT (135.2 SQM)  
SECOND FLOOR - 1718 SQFT (159.4 SQM)  
THIRD FLOOR - 2303 SQFT (214.0 SQM)  
LANDSCAPING  
FRONT YARD SOFT - 100%  
REAR YARD SOFT - 100%  
TOTAL INC. DRWY - 100%  
EXC. DRWY - 100%

REGISTRATION INFORMATION  
Required unless design is exempt  
2006 Ontario Building Code for  
2014 of the 1997 Ontario  
Building Code

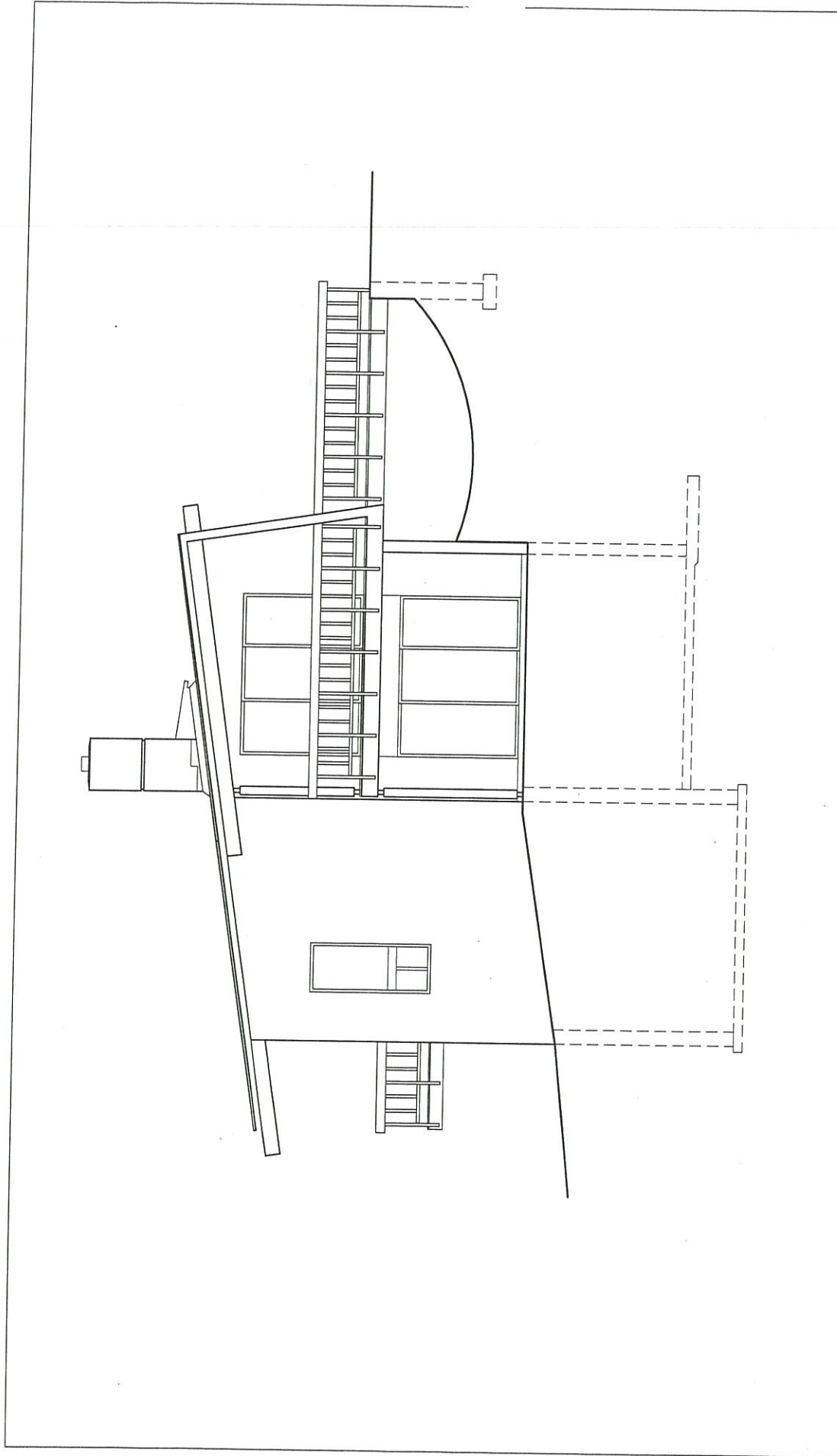
No. Description  
01 PRELIMINARY PROPOSAL


Date (mm/dd/yy)  
09/11/15

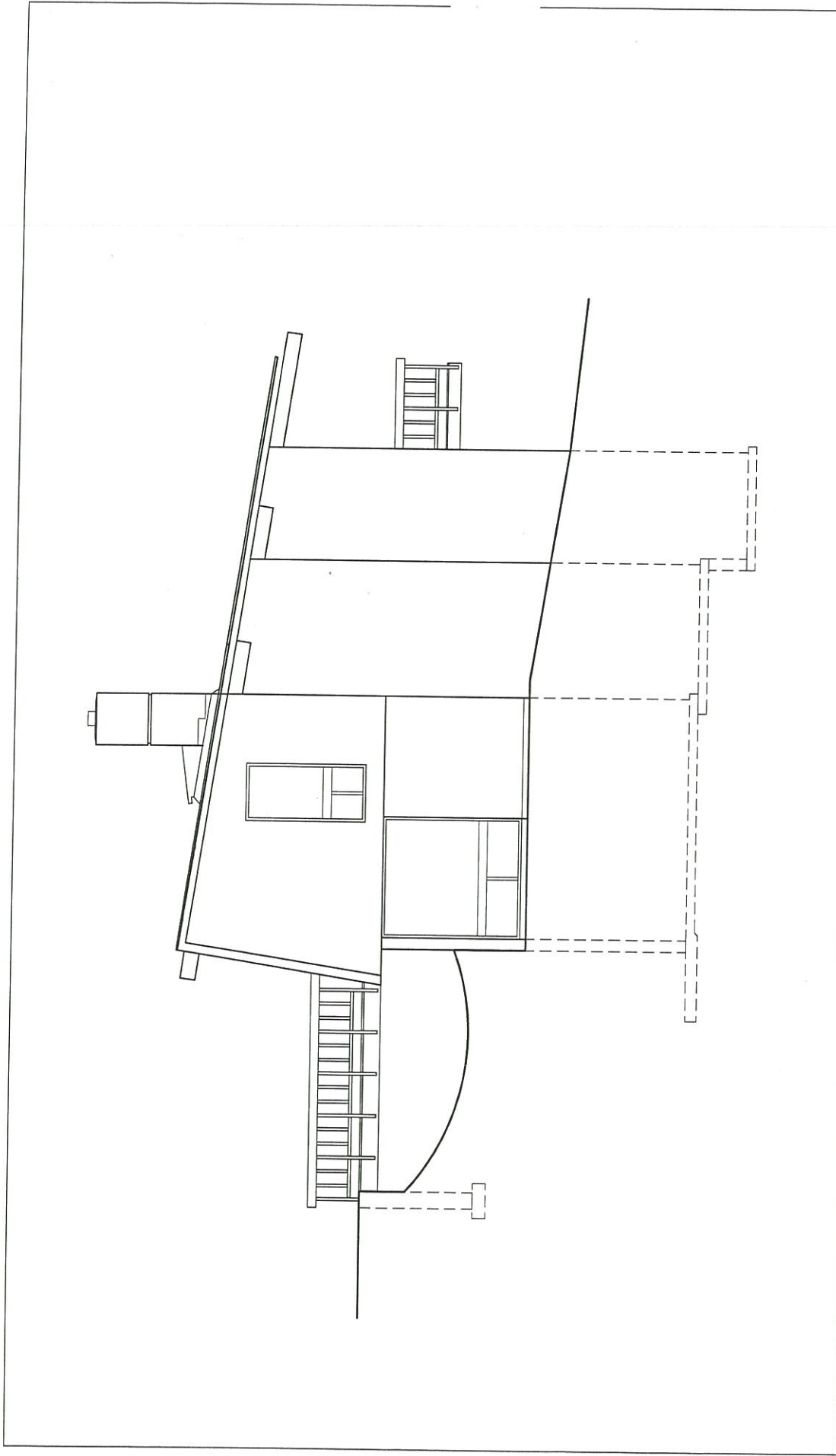
SITE PLAN  
10 MILL STREET  
VAUGHAN, ONTARIO


Construction North  
N  
W E S

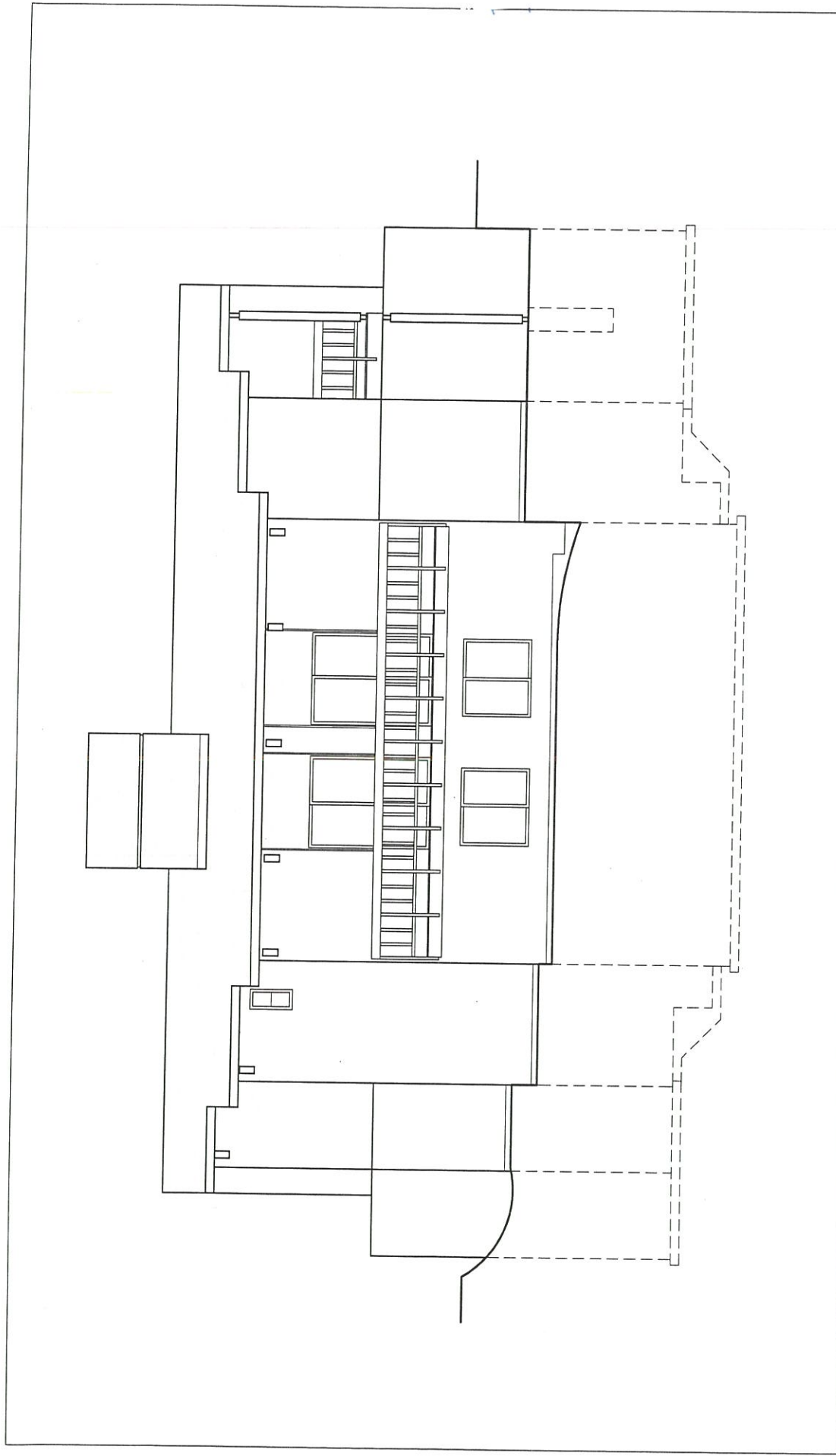
DWG No.  
A01  
Sheet 01 of 09  
Scale  
3/64" = 1'-0"




 <b>NETTHAUS</b> DESIGN   DEVELOPMENT   BUILD	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and experience to meet the requirements set out in the Ontario Building Code to be a designer. <b>QUALIFICATION INFORMATION</b> Required unless design is exempt under Division C - 3.2.5.1 of the 2000 Ontario Building Code (or 2.17.1 of the 1997 Ontario Building Code)	No. Description 01 PRELIMINARY PROPOSAL		Date (mm/dd/yy) 09/11/15	Construction North	DWG No. A06 Sheet 06 of 09 Scale 3/16" = 1'-0"
		Drawn By: NETT.	Checked By: NETT.			
REGISTRATION INFORMATION Required unless design is exempt under Division C - 3.2.5.1 of the 2000 Ontario Building Code (or 2.17.1 of the 1997 Ontario Building Code)		FIRM NAME XXXXXXXXXXXXXXXXXXXX		BCIN XXXXXX		
NAME XXXXXXXXXXXXXXXXXXXX		SIGNATURE XXXXXXXXXXXX		BCIN XXXX		

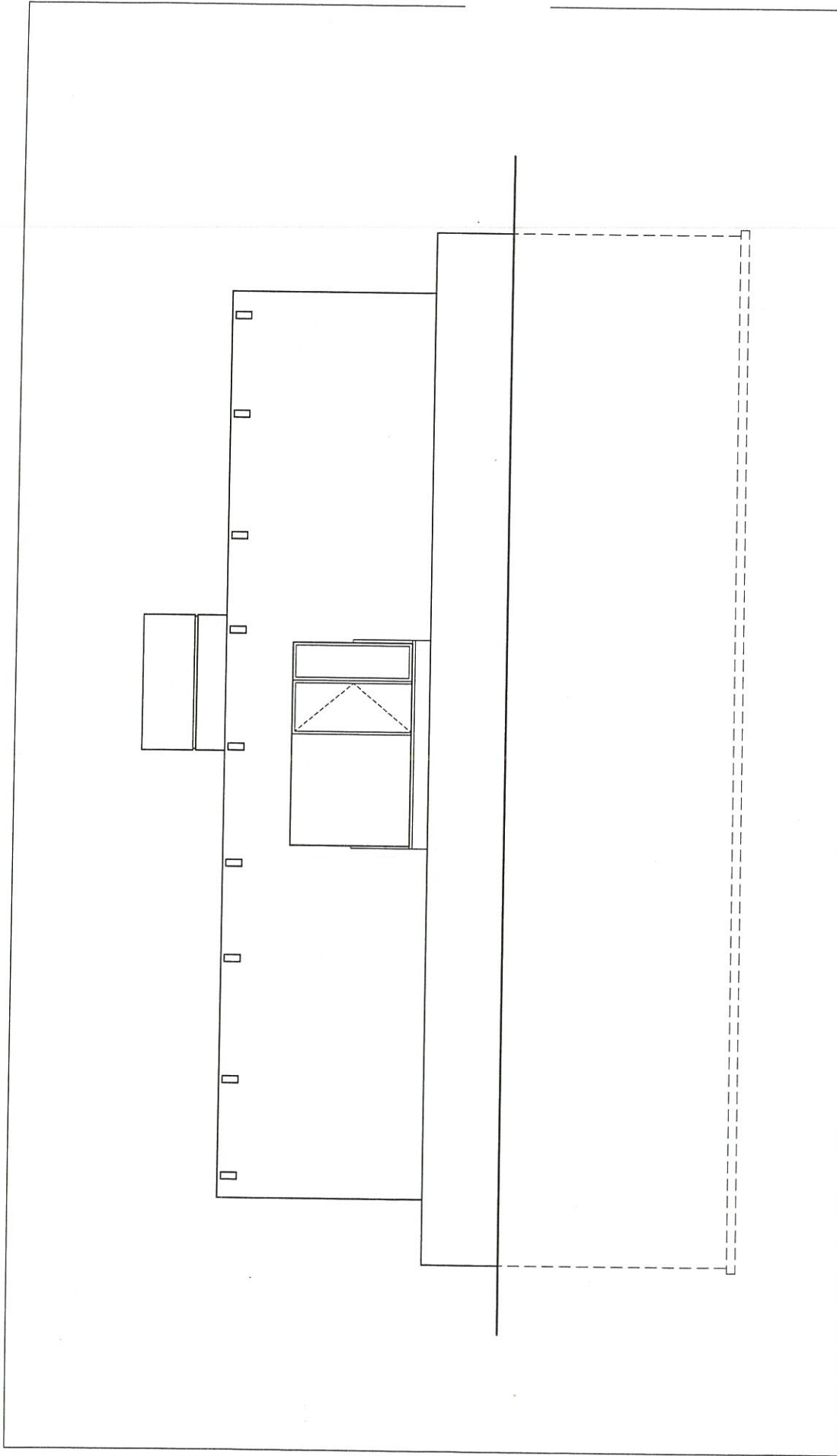



 <b>NETTHAUS</b> DESIGN   DEVELOPMENT   BUILD	<p>The undersigned has reviewed and taken responsibility for this design, and is the sole author and meets the requirements set out in the Ontario Building Code for a Professional Engineer.</p> <p><b>QUALIFICATION INFORMATION</b> Required unless design is exempt under Division C-3.2.5.1 of the 2008 Ontario Building Code (or 2.17.5.1 of the 1997 Ontario Building Code)</p> <p>XXXX NAME</p> <p>XXXX SIGNATURE</p> <p>XXXX BCIN</p>	<p><b>REGISTRATION INFORMATION</b> Required unless design is exempt under Division C-3.2.4.1 of the 2008 Ontario Building Code (or 2.17.4.1 of the 1997 Ontario Building Code)</p> <p>XXXXXXXXXXXXXXXXXXXX FIRM NAME</p> <p>XXXXXXXXXXXXXXXXXXXX BCIN</p>	<p>No. Description 01 PRELIMINARY PROPOSAL</p> <p>Date (mm/dd/yy) 09/11/15</p> <p>Drawn By: NETT. Checked By: NETT.</p>	<p>EAST ELEVATION 10 MILL STREET VAUGHAN, ONTARIO</p>	<p>Construction North</p>	DWG No. A07
						Sheet 07 of 09 Scale 3/16" = 1'-0"



 <b>NETTHAUS</b> DESIGN   DEVELOPMENT   BUILD	<p>The undersigned has reviewed and takes responsibility for this design, and has the authority to execute the requirements set out in the Ontario Building Code to be a designer.</p> <p><b>QUALIFICATION INFORMATION</b> Required unless design is exempt under Division C - 32.5.1 of the 2006 Ontario Building Code (or 2.17.1 of the 1997 Ontario Building Code)</p> <p>XXXXXXXXXXXXXXXXXXXX SIGNATURE XXXXXXXXXXXXXXXXXXXX BCIN</p>	<p><b>REGISTRATION INFORMATION</b> Required unless design is exempt under Division C - 32.5.1 of the 2006 Ontario Building Code (or 2.17.1 of the 1997 Ontario Building Code)</p> <p>XXXXXXXXXXXXXXXXXXXX FIRM NAME XXXXXXXXXXXXXXXXXXXX BCIN</p>	<p>No. Description Date (mm/dd/yy) 01 PRELIMINARY PROPOSAL 09/11/15</p> <p>Drawn By: NETT. Checked By: NETT.</p>	<p>NORTH ELEVATION 10 MILL STREET VAUGHAN, ONTARIO</p>	<p>Construction North</p>	DWG No. A08
						Sheet 08 of 09 Scale 3/16" = 1'-0"



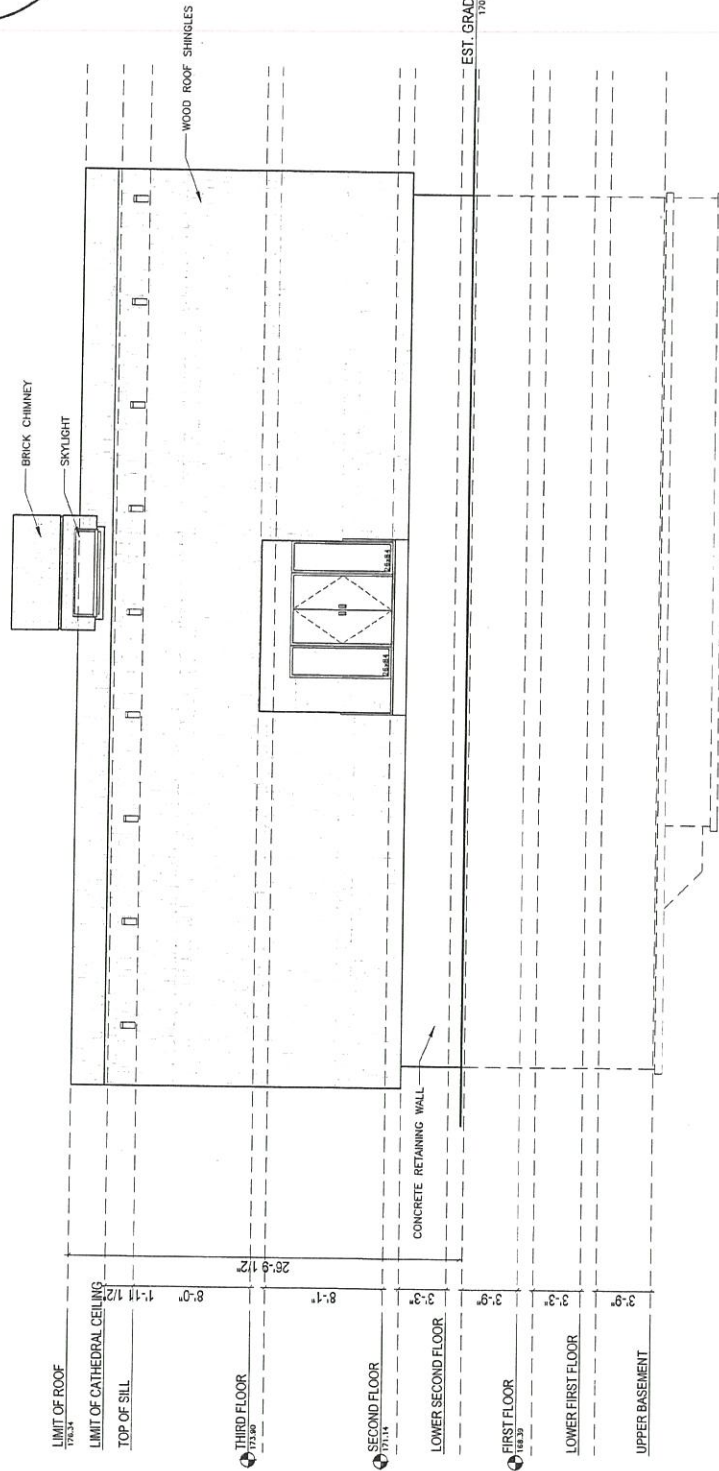


	The undersigned has reviewed and takes responsibility for this design, and has not been reviewed or approved by the undersigned. Building Code to be a designer. Required unless design is exempt under Division C-3.2.1 of the 2006 Ontario Building Code (or 2.1.3.1 of the 1997 Ontario Building Code)	SIGNATURE XXXXXXXXXXXXXXXXXXXX	NAME XXXXXXXXXXXXXXXXXXXX	BCIN XXXX	FIRM NAME XXXXXXXXXXXXXXXXXXXX	BCIN XXXXXX	No. Description 01 PRELIMINARY PROPOSAL	Date (mm/dd/yy) 09/11/15	SOUTH ELEVATION 10 MILL STREET VAUGHAN, ONTARIO	Construction North	DWG No. A09
											Sheet 09 of 09 Scale 3/16" = 1'-0"



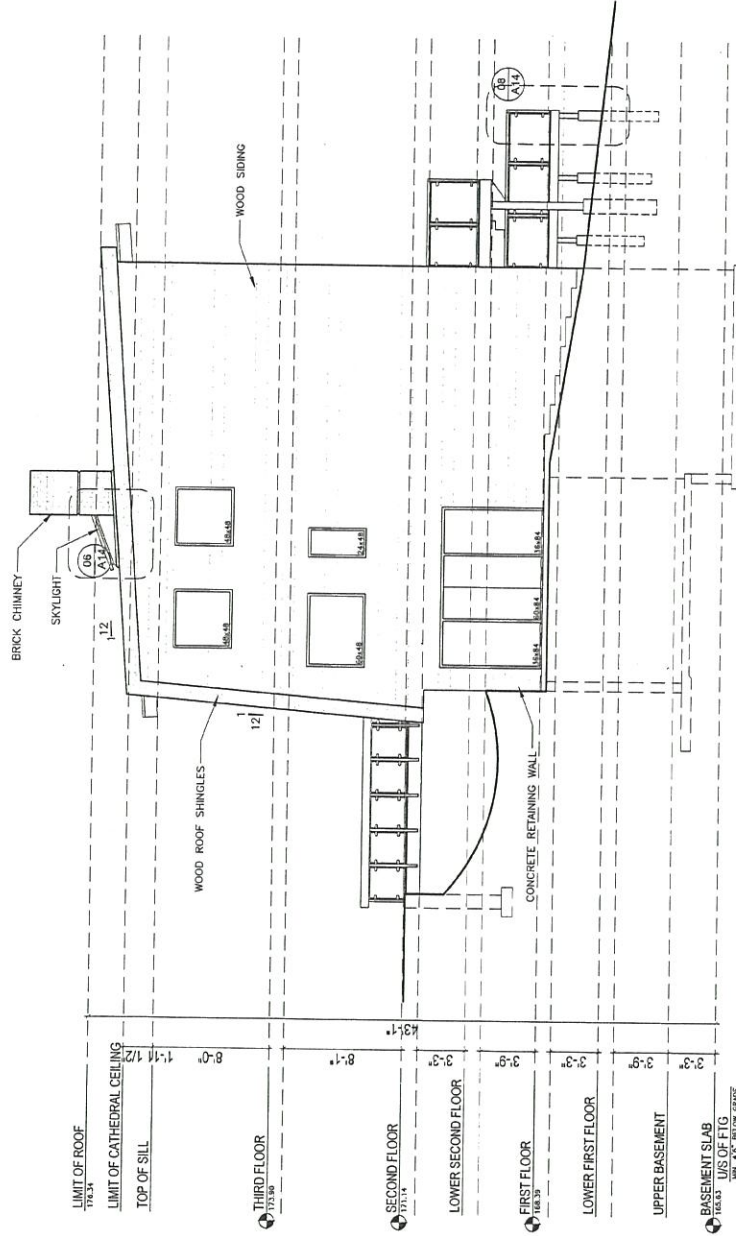
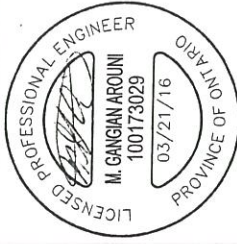




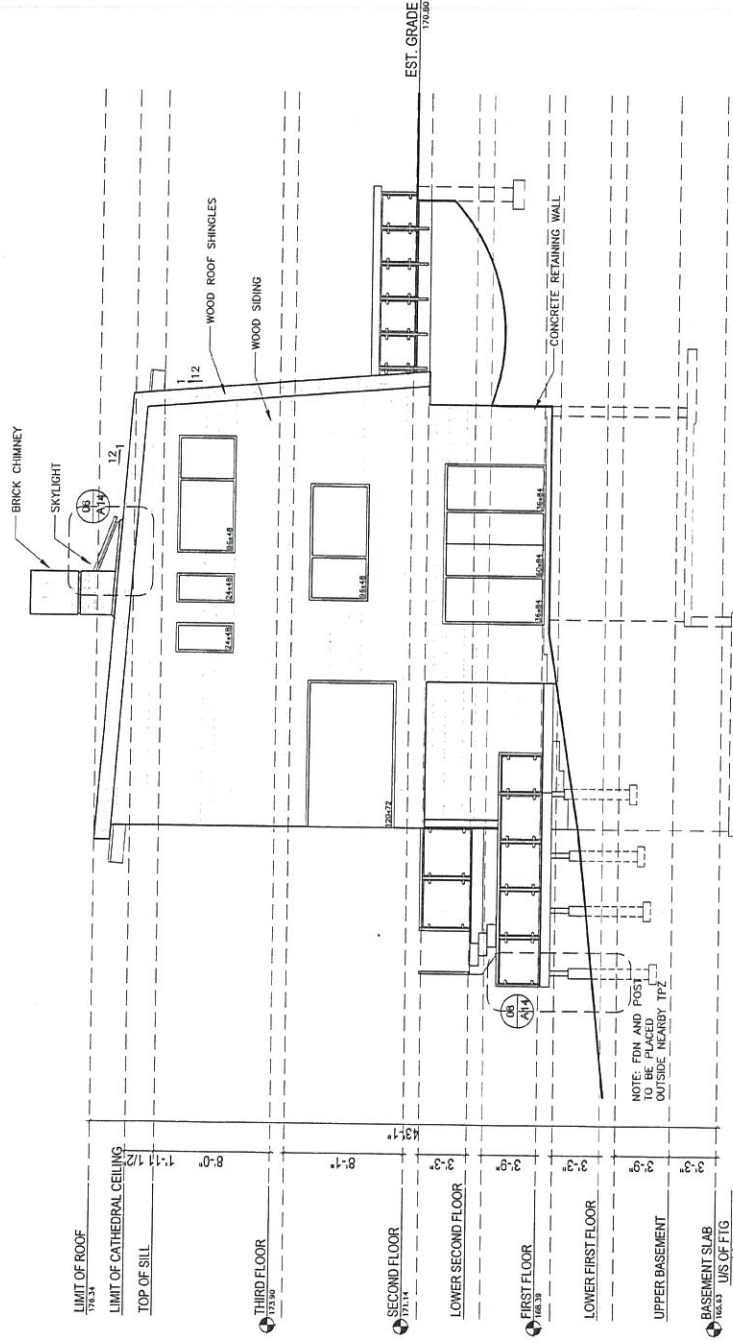


	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a professional engineer. Required unless design is exempt under Division C-3.2.1 of the 2006 Ontario Building Code (or 2.17.5.1 of the 1997 Ontario Building Code)	SIGNATURE XXXX BCIN	FIRM NAME XXXXXXXXXXXXXXXXXXXX BCIN	REGISTRATION INFORMATION Required unless design is exempt under Division C-3.2.1 of the 2006 Ontario Building Code (or 2.17.5.1 of the 1997 Ontario Building Code)	No. Description 01 ISSUED FOR APPROVAL	Date (mm/dd/yy) 03/21/16	SOUTH ELEVATION 10 MILL STREET VAUGHAN, ONTARIO	Construction North	DWG No. A08 Sheet 08 of 17 Scale 1/8" = 1'-0"
					Drawn By: NETT.	Checked By: NETT.			





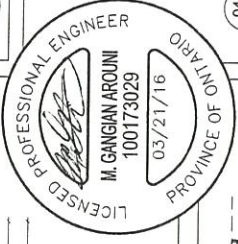
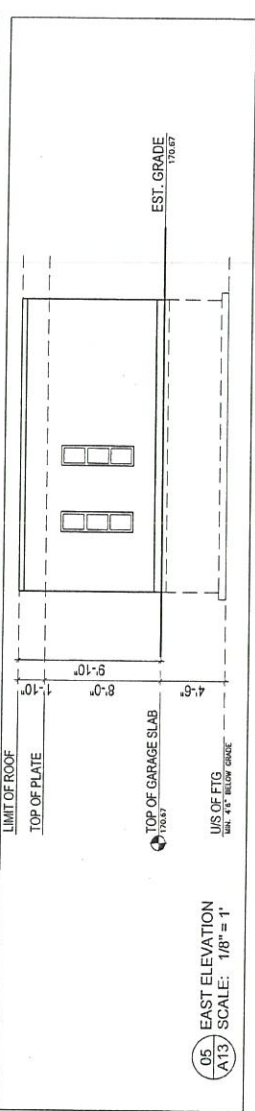
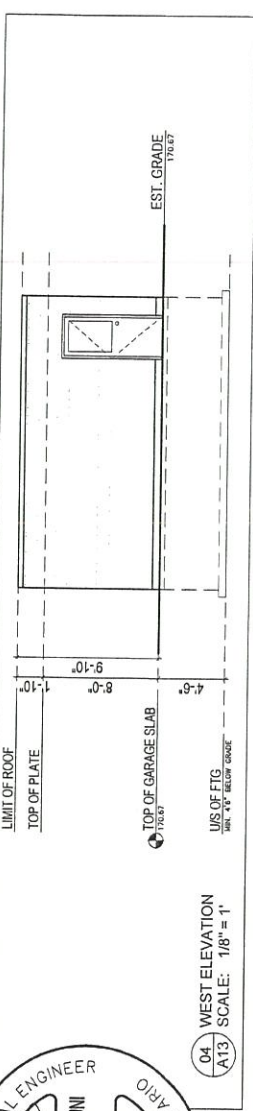
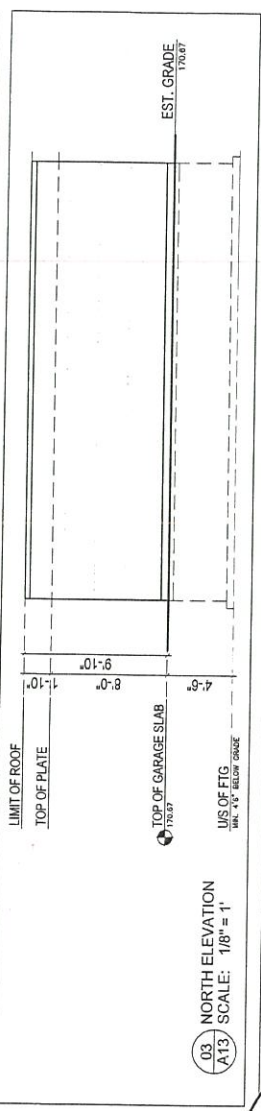
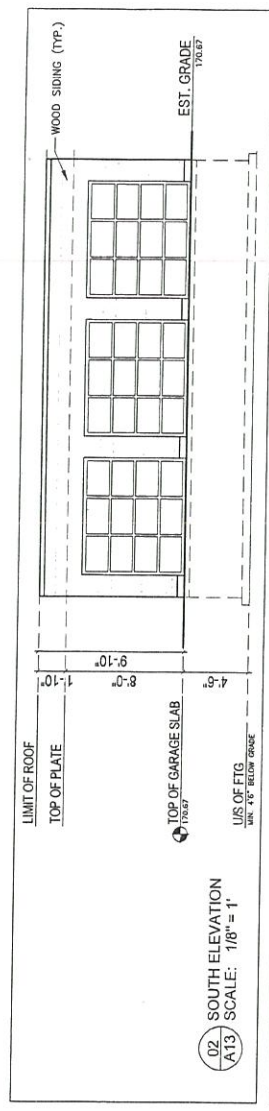
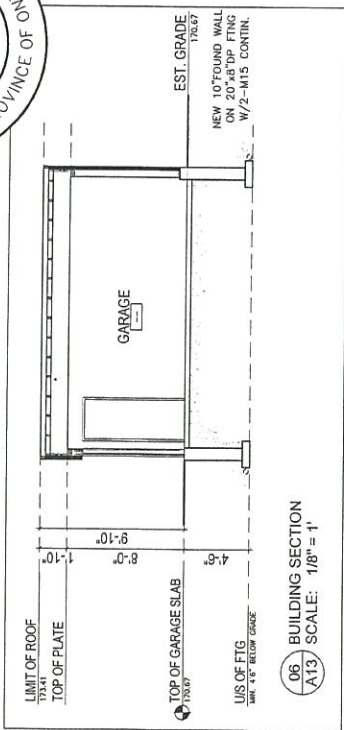
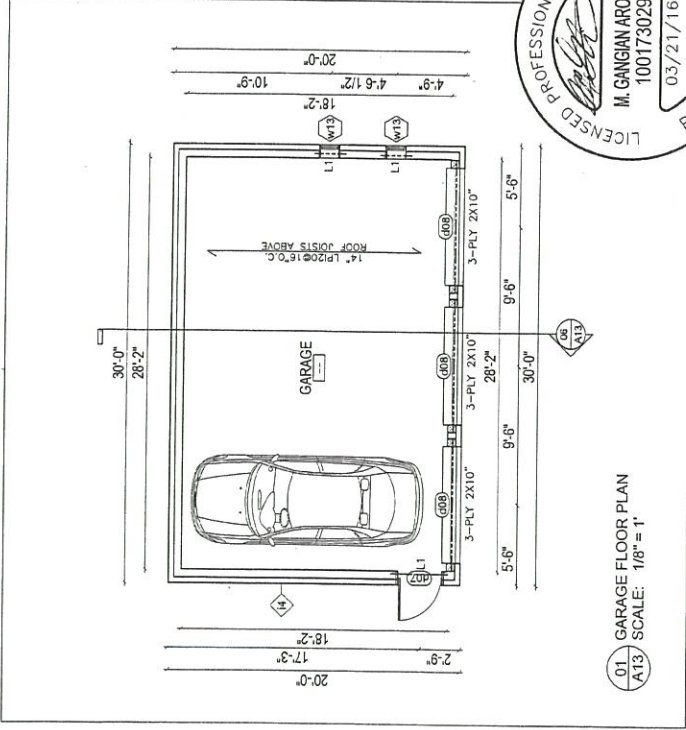
	No. Description 01 ISSUED FOR APPROVAL	Date (mm/dd/yy) 03/21/16	Construction North	DWG No. A09
EAST ELEVATION				
10 MILL STREET VAUGHAN, ONTARIO				
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and makes the representations set out in the Ontario Building Code to be a QUALIFICATION INFORMATION Required unless design is exempt under Division C - 3.2.5.1 of the 2006 Ontario Building Code (or 2.17.5.1 of the 1997 Ontario Building Code)		Drawn By: NETT. Checked By: NETT.		
SIGNATURE		XXXXX NAME		
XXXXX FIRM NAME		XXXXX BOB		



	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a qualified professional engineer. QUALIFICATION INFORMATION Required unless design is exempt under Division C - 3.2.5.1 of the 2006 Ontario Building Code (or 2.17.5.1 of the 1997 Ontario Building Code)	SIGNATURE XXXXXXXXXXXXXXXXXXXX	NAME XXXXXXXXXXXXXXXXXXXX	BCN XXXX	FIRM NAME XXXXXXXXXXXXXXXXXXXX	BCN XXXXXX	REGISTRATION INFORMATION Required unless design is exempt under Division C - 3.2.4.1 of the 2006 Ontario Building Code (or 2.17.4.1 of the 1997 Ontario Building Code)	No. Description 01 ISSUED FOR APPROVAL	Date (mm/dd/yy) 03/21/16	Construction North	DWG No. A10
								Drawn By: NETT.	Checked By: NETT.	Sheet 10 of 17	Scale 1/8" = 1'-0"

WEST ELEVATION

10 MILL STREET  
VAUGHAN, ONTARIO



		No. 01 Description: ISSUED FOR APPROVAL Date: 03/21/16		Construction North 		DWG No. A13 Sheet 13 of 17 Scale 1/8" = 1'-0"	
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a QUALIFICATION INFORMATION Required unless design is exempt under Division C-3.2.5.1 of the 2006 Ontario Building Code (for 2.17.5.1 of the 1997 Ontario Building Code)		SIGNATURE XXXX NAME		XXXX BGIN		Drawn By: NETT. Checked By: NETT. Date: 03/21/16	
REGISTRATION INFORMATION Required unless design is exempt under Division C-3.2.5.1 of the 2006 Ontario Building Code (for 2.17.5.1 of the 1997 Ontario Building Code)		XXXX BGIN		XXXX BGIN		10 MILL STREET VAUGHAN, ONTARIO	



# Attachment 5

