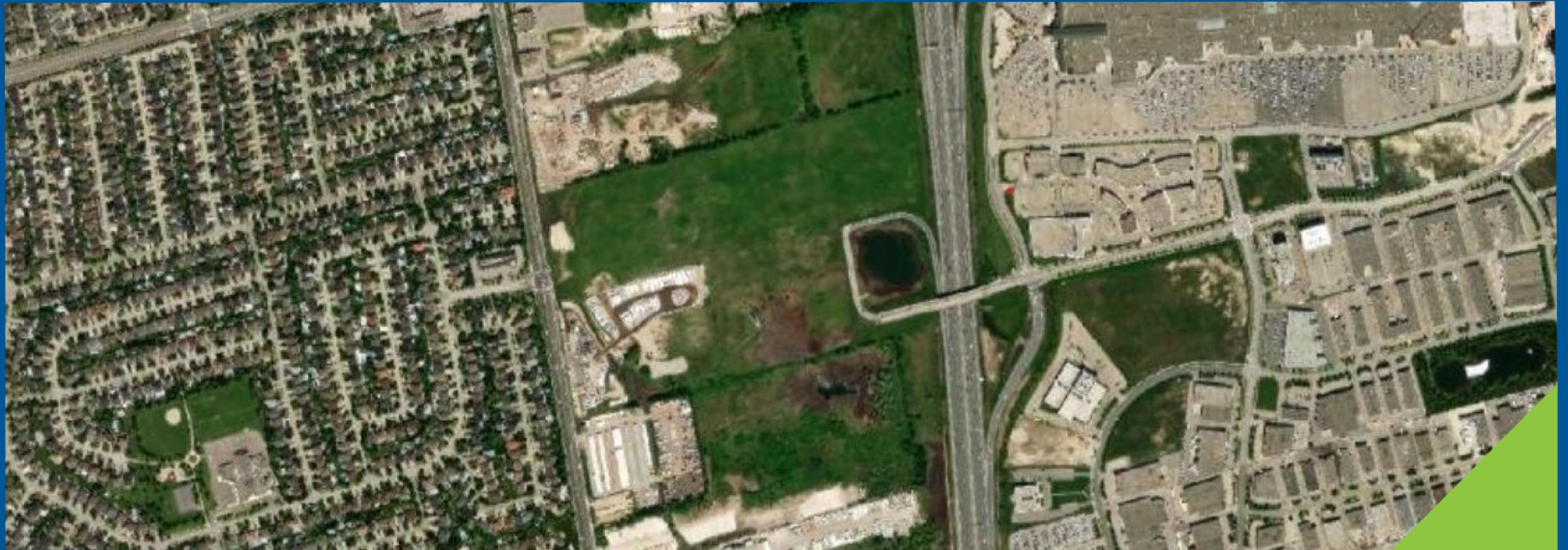


Welcome to the Bass Pro Mills Drive Extension Detailed Design Project

Open House | April 7, 2025



Project Context

Purpose of the Extension

Extending Bass Pro Mills Drive from Highway 400 to Weston Road was recommended in the Vaughan Mills Centre Secondary Plan (2014).

This recommendation was made to:

- ▶ Provide a new east-west multi-modal connection between Highway 400 and Weston Road
- ▶ Help alleviate traffic congestion along Rutherford Road
- ▶ Support future growth and development in the area
- ▶ Create new multi-modal transportation (e.g. walking and cycling) connections
- ▶ Develop a safe and comfortable environment for active transportation users

Project Scope

Bass Pro Mills Drive will be extended from the Highway 400 bridge westward to Weston Road.

The scope includes:

- ▶ Existing Highway 400 bridge modifications
- ▶ New interim signalized intersection at Highway 400
- ▶ New signalized intersection at Weston Road
- ▶ Separate sidewalks and cycling facilities
- ▶ Streetscape features (e.g. trees, vegetation, streetlights)
- ▶ Additional stormwater management measures
- ▶ Interim crossing of the Black Creek
- ▶ Illumination of the roadway and boulevards



Purpose of Open House

The objectives of this Open House are to:

- ▶ Review the Environmental Assessment and consultation process
- ▶ Introduce the Detailed Design process and timelines
- ▶ Provide an overview of the 30% Detailed Design
- ▶ Provide an opportunity for questions about this project
- ▶ Inform the community of anticipated construction impacts
- ▶ Provide an overview of the next steps in the Detailed Design process



Review of the Environmental Assessment and Consultation Process

The Environmental Assessment (EA) process consists of 5 phases:

▶ **Phase 1 – Identifying the problem and/or opportunity**

- Notice of Study Commencement: March 2020

▶ **Phase 2 – Develop and evaluate alternative solutions and identify a preferred solution**

- Online PIC #1: December 2020 – January 2021

▶ **Phase 3 – Develop and evaluate alternative designs and identify a preferred design**

- Online PIC #2: August 2021 – September 2021

▶ **Phase 4 – Document the process in an Environmental Study Report**

- Notice of Study Completion and 30-day Public Review Period: August 2022 - September 2022

▶ **Phase 5 – Project implementation (detailed design and construction)**

- **The project is now in Phase 5.**

Review of the Environmental Assessment and Consultation Process

Key Feedback Received

- ▶ Concern for increased traffic congestion and lack of alternative routes within the study area.
- ▶ Concern that an extension of Bass Pro Mills Drive will encourage east-west traffic through the Weston Downs community or increase traffic on an already congested Weston Road.
- ▶ The desire for pedestrian and cyclist-friendly routes within the study area (e.g. separated bike lanes, sidewalks, multi-use paths and wider boulevards with street trees and other landscape features).
- ▶ Concerns related to potential impacts to the natural environment or increases in noise and air pollution.

Review of the Environmental Assessment and Consultation Process

Key Actions Taken

- ▶ The alignment option to connect Bass Pro Mills Drive to Astona Boulevard was evaluated, but ultimately not preferred. This decision was based on its negative impacts on the technical, socio-economic, natural, and cultural environments, as well as its higher potential to increase traffic in nearby residential areas.
- ▶ The completion of a Traffic Impact Assessment (TIA) confirmed that the extension will result in an overall reduction in travel delays and provide an alternative east-west route for traffic to alleviate Rutherford Road.
- ▶ The TIA found that this segment of Weston Road will still be able to support increased traffic volumes, though traffic congestion may be experienced for short periods of time.
- ▶ Sidewalks and separated cycling facilities have been incorporated into the detailed design on both sides of the roadway.
- ▶ Construction mitigation practices will include limiting work to daytime hours, turning off equipment when not in use, and following best practices for vegetation removal and in-water works to minimize noise, air, and environmental impacts.



Roadway Alternatives Assessed During the Environmental Assessment and Consultation Process



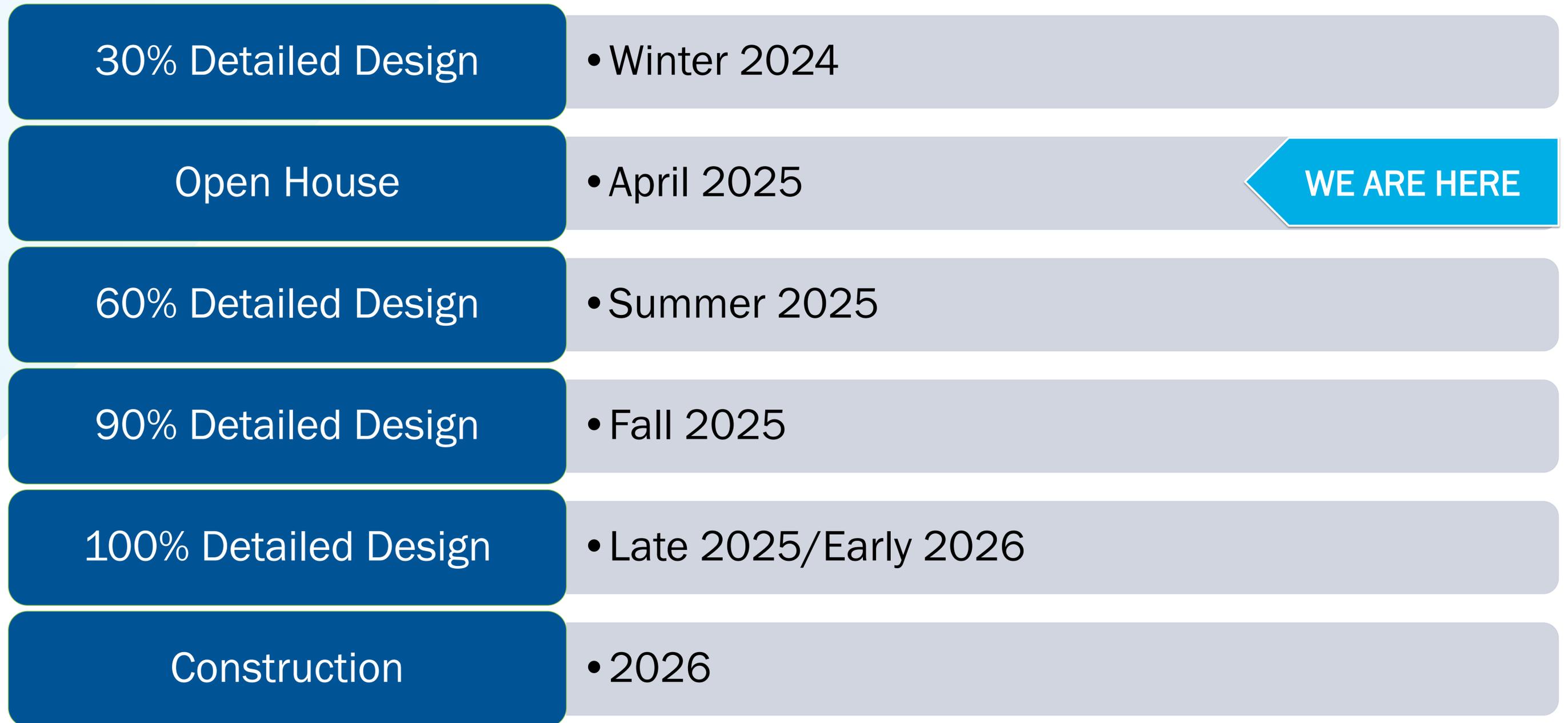
**Alternative Alignment A
(Preferred)**

- Higher potential to accommodate long-term vehicular and transit travel demands
- Lower potential to increase traffic infiltration within adjacent neighbourhood
- Lower impacts on the natural environment



Alternative Alignment B

Detailed Design Process and Timeline



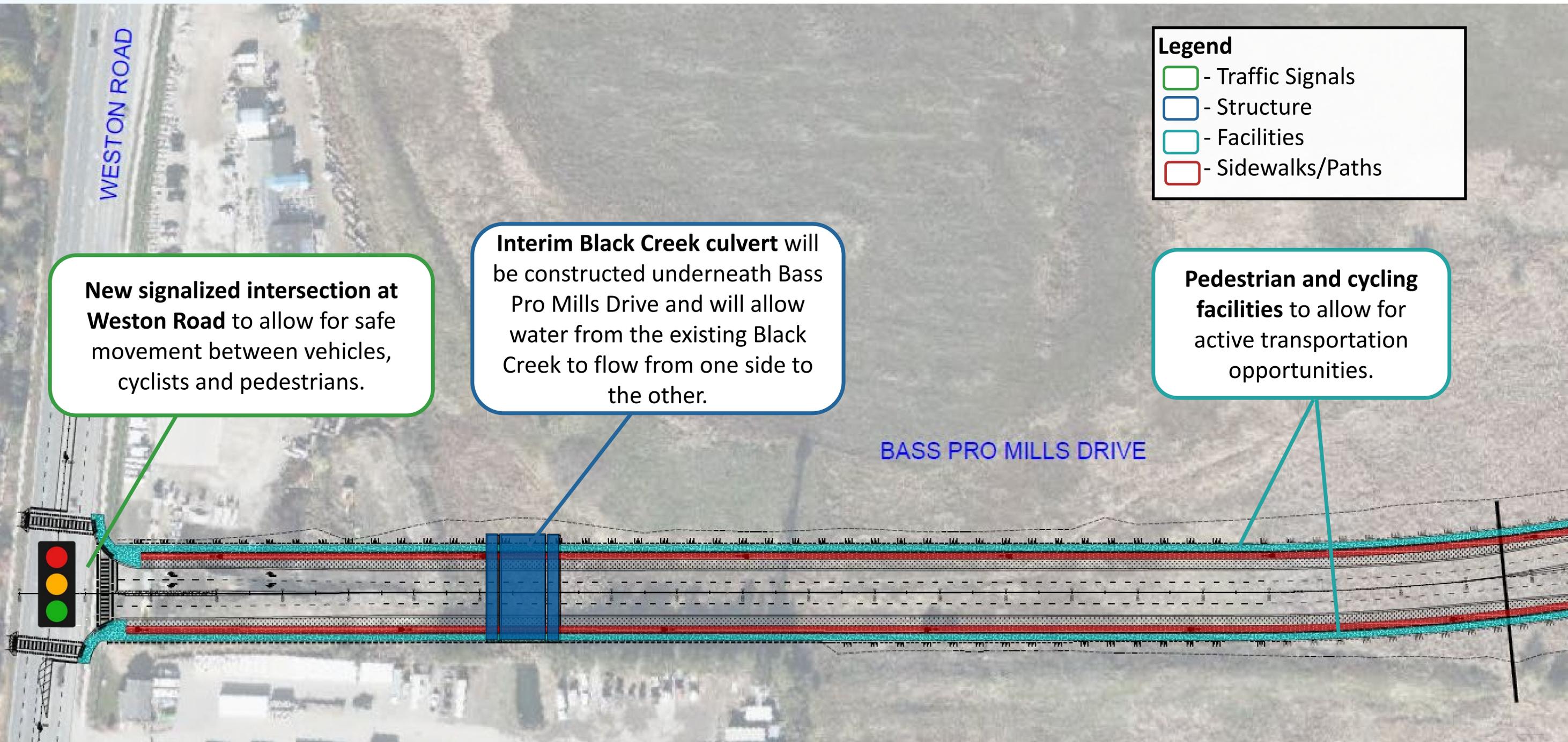
30% Detailed Design

Key Features of the Typical Cross-Section

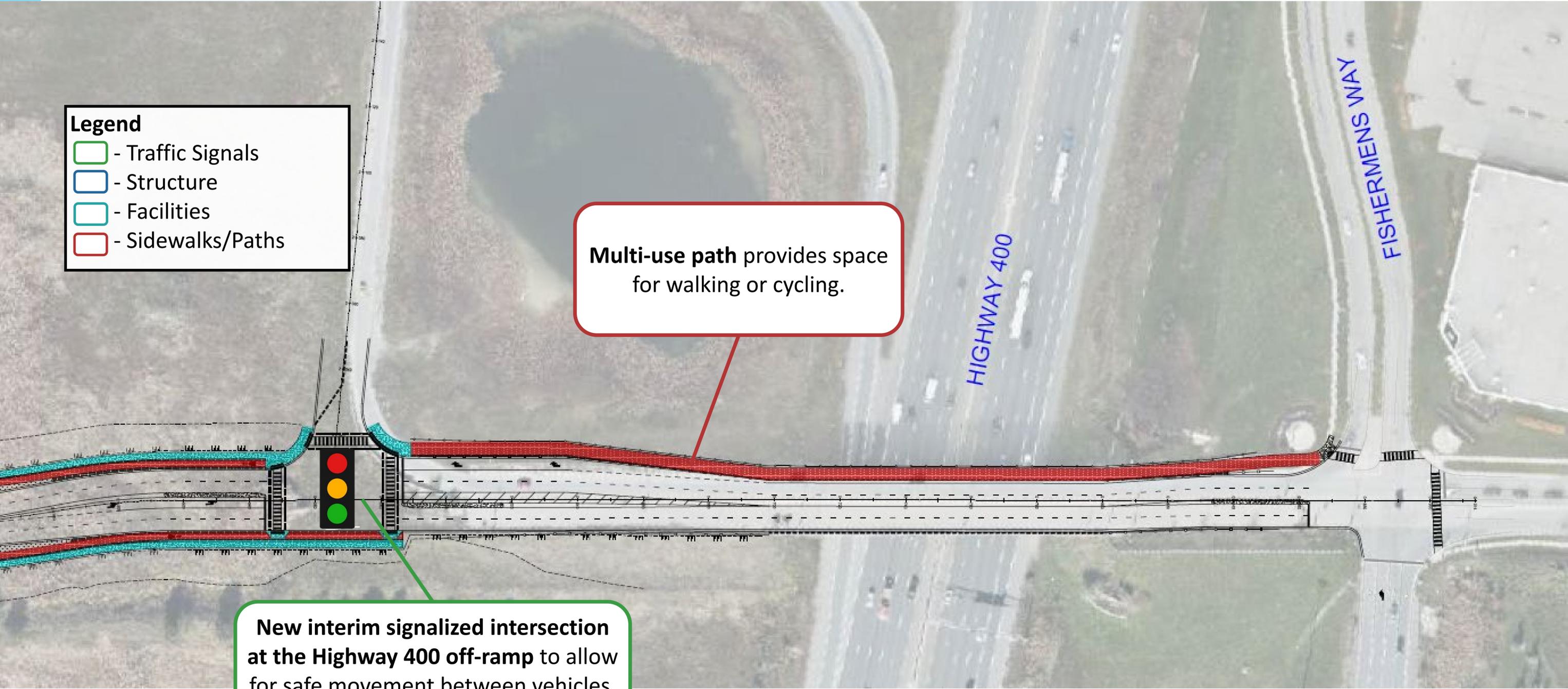
- ▶ 30-metre-wide right-of-way (road)
- ▶ Four (4) lane urban road with 3.3-metre inside lanes and 3.5-metre outside (curb) lanes
- ▶ Continuous 2-metre-wide sidewalk and 2-metre-wide cycling path within the boulevard, separated by a 200-millimetre buffer between the sidewalk and cycle path
- ▶ Approximately 2.5-metre-wide intermittent bio-retention feature (vegetated areas that help manage stormwater runoff) between the cycling facility and roadside curb



30% Detailed Design



30% Detailed Design



Legend

-  - Traffic Signals
-  - Structure
-  - Facilities
-  - Sidewalks/Paths

Multi-use path provides space for walking or cycling.

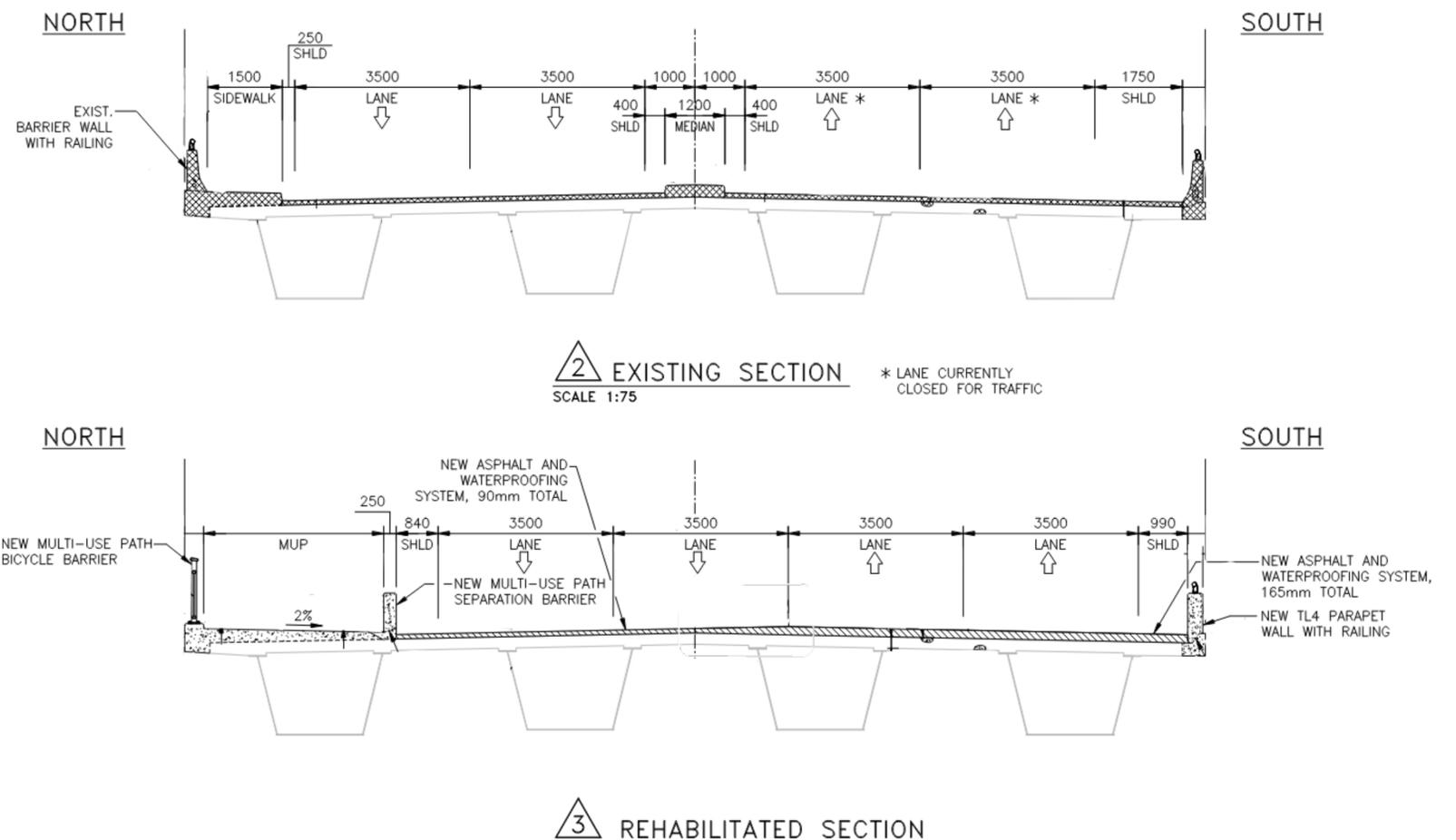
New interim signalized intersection at the Highway 400 off-ramp to allow for safe movement between vehicles, cyclists and pedestrians.

30% Detailed Design

Modification to Existing Highway 400 Bridge Overpass

► The typical cross-section for the modification of the Highway 400 bridge overpass includes:

- Multi-use path
- Barrier to separate active transportation users and vehicle traffic
- Four (4) 3.5-metre-wide vehicle lanes



Construction Impacts and Mitigation

A summary of the anticipated construction impacts to the community and environment, and proposed mitigation measures are provided below.

| What to Expect? | Mitigation Measures |
|---|--|
| Traffic Management and Property Use | |
| Minor impacts at Weston Road to construct the new intersection and limited impacts to Highway 400 ramp operations for tie-in to the new Bass Pro Mills Drive Extension. | ✓ Maintaining existing lane operation of 2 lanes in each direction on Weston Road as much as possible. |
| | ✓ Limiting lane closures on Weston Road to off-peak periods when required. |
| | ✓ Limit ramp closures to evenings or overnight periods. |
| Noise and Dust | |
| Noise and dust generated from construction activities. | ✓ Completing the work during normal hours (7am to 7pm from Monday to Saturday) in accordance with the City's Noise By-law. |
| | ✓ Using standard techniques for the suppression of dust (e.g. use of water). |
| | ✓ Providing advanced notification of any night work and limiting the amount of night work to critical activities only, such as lane shifting or paving. |
| | ✓ Keeping idling of construction equipment to a minimum and maintaining equipment in good working order to reduce noise from construction activities. |
| Surface and Groundwater | |
| Surface run-off resulting from construction activities and the storage of materials in the work site. | ✓ On-site hazardous materials are properly stored and located at least 30 metres away from watercourses and other sensitive natural features, such as wetlands, including all handling and refueling activities. |
| | ✓ Implementing an emergency response management and monitoring plan that includes measures for preventing and addressing potential spills and monitoring activities. |
| Natural Environment | |
| Erosion and sediment resulting from the work site and disturbance to natural habitat. | ✓ Adherence to best management practices and appropriate timing windows for vegetation removal and in-water works, including erosion and sediment control measures. |
| | ✓ Completion of visual inspections for wildlife. |

Stay Informed

Next Steps

- ▶ The project team will review and address public comments.
- ▶ The project will progress to the 60% Detailed Design stage.
- ▶ It is anticipated that construction will commence in 2026. However, the timing of construction is subject to change.

Please use the QR code to submit any questions or comments regarding the information presented in the Open House. Alternatively, you can contact the City of Vaughan Infrastructure Delivery Department. The deadline to submit any questions or comments is 11:59 PM on April 21, 2025.

Infrastructure Delivery

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Scan here to submit questions or comments.

vaughan.ca/BassProMillsDrive

