

# *THE CITY OF VAUGHAN*

# *BY-LAW*

## **BY-LAW NUMBER 241-2024**

**A By-law to amend City of Vaughan By-law 001-2021, as amended.**

**WHEREAS** there has been an amendment to the Vaughan Official Plan adopted by Council but not approved at this time, with which the matters herein set out are in conformity;

**AND WHEREAS** subsection 24(2) of the *Planning Act*, R.S.O. 1990, c.P.13 provides that Council may pass a by-law that does not conform to the Official Plan on lands that are subject to an adopted amendment, and that once the amendment comes into effect, the By-law shall then conform;

**AND WHEREAS** subsection 24(2.1) of the *Planning Act*, R.S.O. 1990, c.P.13 provides that the By-law comes into force and effect upon the Official Plan Amendment coming into effect;

**NOW THEREFORE** the Council of The Corporation of the City of Vaughan ENACTS AS FOLLOWS:

1. That City of Vaughan By-law Number 001-2021, as amended, be and it is hereby further amended by
  - a) Rezoning the lands shown as "Subject Lands" on Schedule "1" attached hereto from FD Future Development Zone with site-specific Exception 1110 and EP Environmental Protection Zone, to EMU Employment Commercial Mixed-Use Zone, and EP Environmental Protection Zone, in the manner shown on the said Schedule "1".
  - b) Adding a new Part 14 Exception Zone with a new Subsection, being Subsection 14.1196 as follows:

Exception Number 14.1196	Legal Description: Part of Lot 29, Concession 5, Parts 1-3, 65R-37962
Applicable Parent Zone: EMU	
Schedule A Reference: 223, 224	
By-law 241-2024	
14.1196.1 Permitted Uses	
<p>The following additional <u>uses</u> shall be permitted on the lands <u>zoned</u> EMU Employment Commercial Mixed-Use Zone, as shown on Figure E-1770:</p> <ol style="list-style-type: none"> <li>a. <u>Car Wash</u></li> <li>b. <u>Drive-Through</u></li> <li>c. <u>Fueling Station</u></li> <li>d. <u>Garden Centre</u> accessory to a <u>Supermarket</u></li> <li>e. <u>Motor Vehicle Sales</u> that do not include the outdoor display or storage of motor vehicles</li> <li>f. <u>Research and Development</u></li> <li>g. <u>Shopping Centre</u> with individual retail units not exceeding a maximum <u>gross floor area</u> of 2,800 m<sup>2</sup></li> <li>h. Note 2 to Table 8-2 shall not apply</li> <li>i. Note 5 to Table 8-2 shall permit a maximum <u>gross floor area</u> per lot of 47,000 m<sup>2</sup> for uses subject to this provision</li> </ol>	
14.1192.2 Lot and Building Requirements	
<ol style="list-style-type: none"> <li>1. The following <u>lot</u> and <u>building</u> requirements shall apply to the lands <u>zoned</u> EMU Employment Commercial Mixed-Use Zone as shown on Figure E-1770: <ol style="list-style-type: none"> <li>a. The minimum <u>front yard</u> shall be 5.0 m.</li> <li>b. The minimum <u>exterior side yard</u> shall be 3.0 m.</li> <li>c. The minimum <u>ground floor height</u> shall be 4.5 m.</li> <li>d. The required <u>build-to zone</u> shall be 3.5 m to 10.0 m.</li> <li>e. The minimum <u>landscape</u> strip abutting a <u>street line</u> shall be 3.5 m.</li> <li>f. Note 7 to Table 8-3 shall not apply to a surface <u>parking area</u> proposed within an <u>exterior side yard</u>.</li> </ol> </li> </ol>	
14.1192.3 Figures	
E-1770	

c) Adding Schedule "E-1770" attached hereto as Schedule "1".

d) Deleting Schedule A, Maps 223 and 224 and substituting therefore the Schedule A, Maps 223, and 224 attached hereto as Schedule “2”, and Schedule “3”.

2. Schedules “1”, “2”, and “3” shall be and hereby form part of this By-law.

Voted in favour by City of Vaughan Council this 17<sup>th</sup> day of December, 2024.

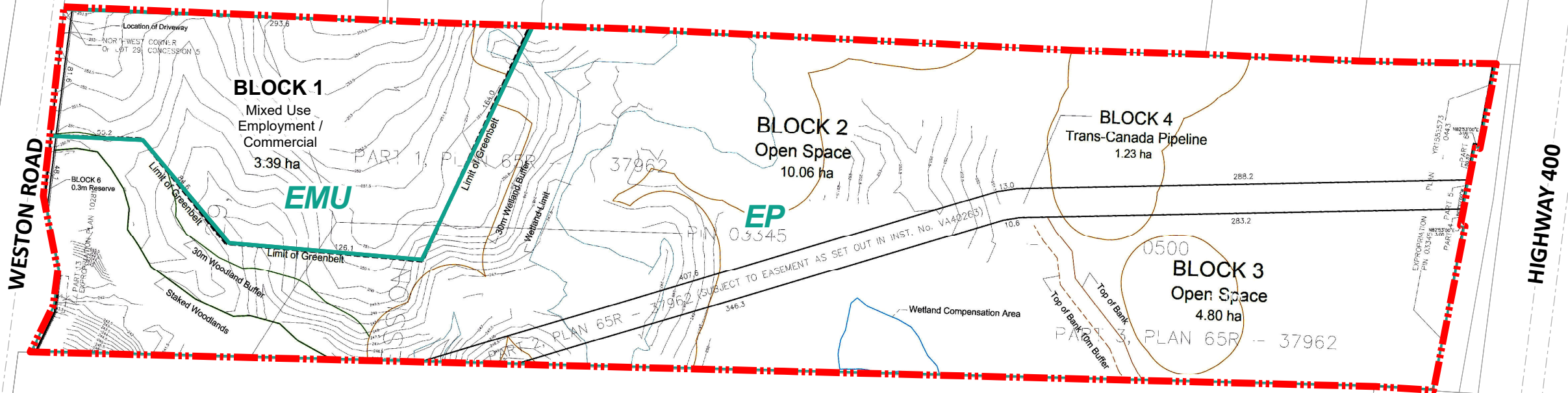
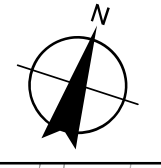
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Steven Del Duca, Mayor

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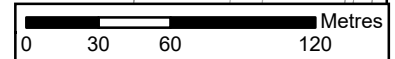
Todd Coles, City Clerk

Authorized by Item No. 2 of Report No. 41 of the Committee of the Whole.  
Report adopted by Vaughan City Council on December 17, 2024.  
City Council voted in favour of this by-law on December 17, 2024.  
Approved by Mayoral Decision MDC 017-2024 dated December 17, 2024.  
**Effective Date of By-Law: December 17, 2024**



This is Figure 'E-1770'  
 To By-Law 001-2021  
 Section 14.1196

 **Subject Lands**



**File:** Z.22.040  
**Related Files:** OP.22.019, 19T-22V014  
**Location:** Part of Lot 29, Concession 5,  
 Parts 1-3, 65R-37962  
**Applicant:** Weston Valley Investments (Block 34) Inc.  
**City of Vaughan**

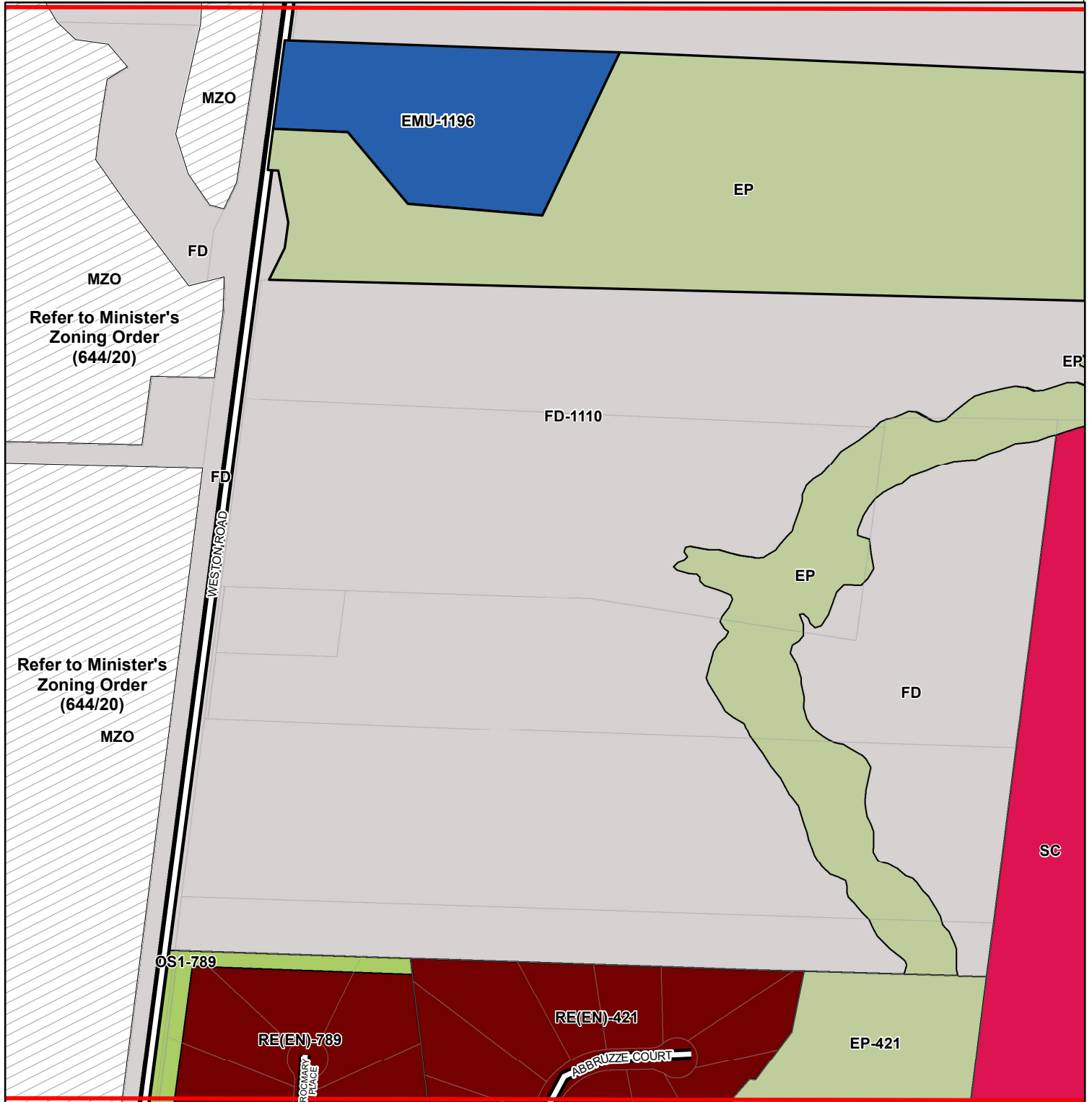
This is Schedule '1'  
 To By-Law 241-2024  
 Passed the 17th Day of December, 2024

Signing Officers

\_\_\_\_\_  
 Mayor  
 \_\_\_\_\_  
 Clerk

# Zoning By-law 001 - 2021

Schedule A | Map 223



<p><b>Conservation, Open Space and Agricultural Zones</b></p> <ul style="list-style-type: none"> <li>A (Agriculture Zone)</li> <li>OS1 (Open Space Zone)</li> <li>OS2 (Open Space Zone)</li> <li>EP (Environmental Protection Zone)</li> </ul> <p><b>Vaughan Metropolitan Centre Zones</b></p> <ul style="list-style-type: none"> <li>V1 (VMC Station Zone)</li> <li>V2 (VMC South Zone)</li> <li>V3 (VMC Neighbourhood Zone)</li> <li>V4 (VMC Employment Zone)</li> </ul>	<p><b>Residential Zones</b></p> <ul style="list-style-type: none"> <li>R1 (First Density Residential Zone)</li> <li>R2 (Second Density Residential Zone)</li> <li>R3 (Third Density Residential Zone)</li> <li>R4 (Fourth Density Residential Zone)</li> <li>R5 (Fifth Density Residential Zone)</li> <li>RT (Townhouse Residential Zone)</li> <li>RT1 (Townhouse Residential Zone)</li> <li>RT2 (Townhouse Residential Zone)</li> <li>RM1 (Multiple Unit Residential Zone)</li> <li>RM2 (Multiple Unit Residential Zone)</li> <li>RM3 (Multiple Residential Zone)</li> <li>RE (Estate Residential Zone)</li> </ul>	<p><b>Commercial Zones</b></p> <ul style="list-style-type: none"> <li>GC (General Commercial Zone)</li> <li>NC (Neighbourhood Commercial Zone)</li> <li>CC (Convenience Commercial Zone)</li> <li>SC (Service Commercial Zone)</li> <li>LMU (Low-Rise Mixed-Use Zone)</li> <li>MMU (Mid-Rise Mixed-Use Zone)</li> <li>HMU (High-Rise Mixed-Use Zone)</li> <li>GMU (General Mixed-Use Zone)</li> </ul>	<p><b>Employment Zones</b></p> <ul style="list-style-type: none"> <li>CMU (Community Commercial Mixed-Use Zone)</li> <li>EMU (Employment Commercial Mixed-Use Zone)</li> <li>KMS (Main Street Mixed-Use - Kleinburg Zone)</li> <li>MMS (Main Street Mixed-Use - Maple Zone)</li> <li>WMS (Main Street Mixed-Use - Woodbridge Zone)</li> <li>EM1 (Prestige Employment Zone)</li> <li>EM2 (General Employment Zone)</li> <li>EM3 (Mineral Aggregate Operation Zone)</li> </ul>	<p><b>Other Zones</b></p> <ul style="list-style-type: none"> <li>I1 (General Institutional Zone)</li> <li>I2 (Major Institutional Zone)</li> <li>U (Utility Zone)</li> <li>FD (Future Development Zone)</li> <li>PB1 (Parkway Belt Public Use Zone)</li> <li>PB2 (Parkway Belt Complementary Use Zone)</li> <li>PB3 (Parkway Belt West Recreational Zone)</li> </ul> <p>These Lands shall not be subject to Zoning By-law 001-2021</p>
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261	262	263	264	265
241	242	243	244	245
221	222	223	224	225
201	202	203	204	205
181	182	183	184	185

1:5,000  
December, 2024

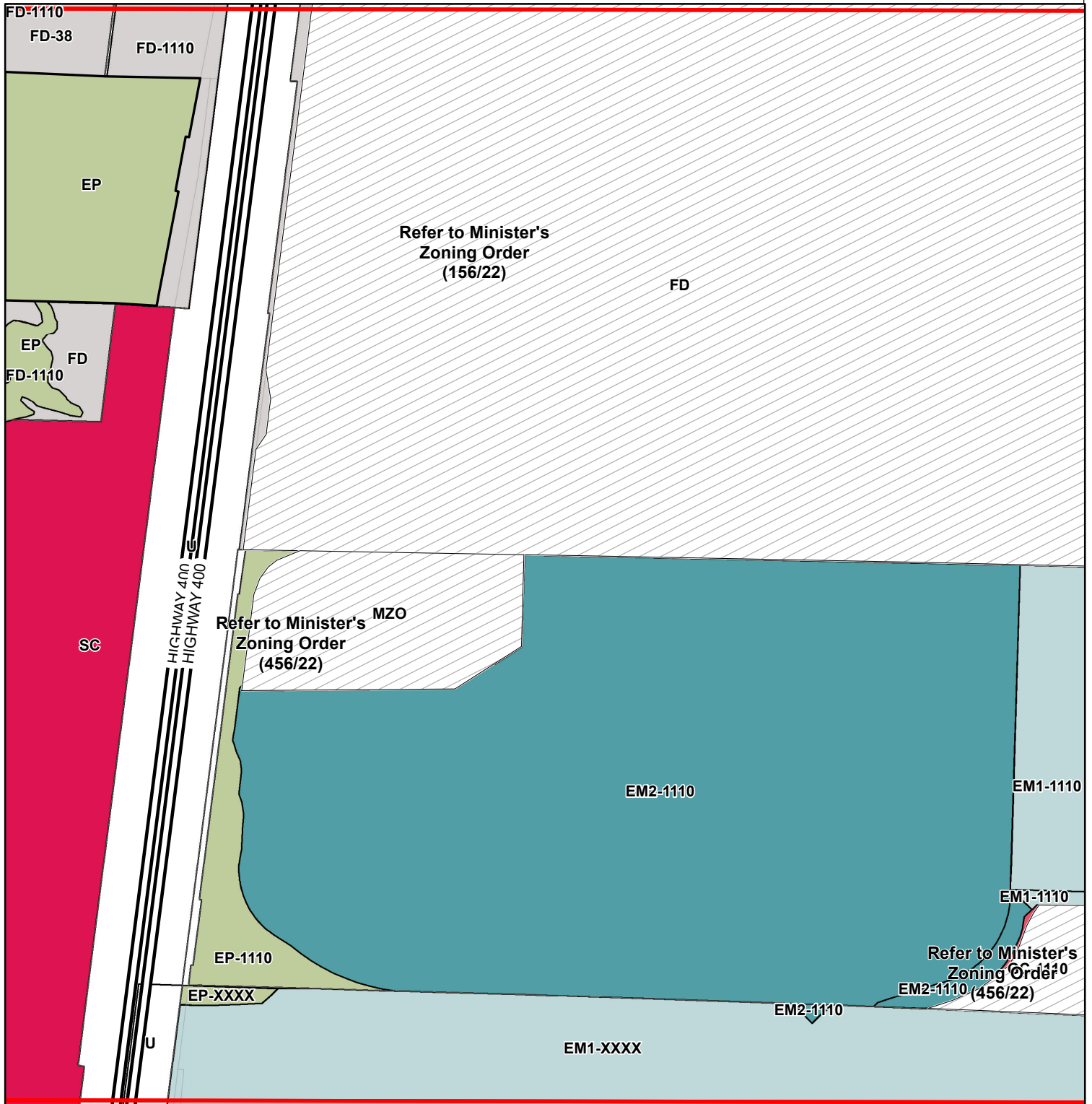
**This is Schedule '2'**  
**To By-Law 241-2024**  
**Passed the 17th Day of December, 2024**

**File:** Z.22.040  
**Related Files:** OP.22.019, 19T-22V014  
**Location:** Part of Lot 29, Concession 5,  
 Parts 1-3, 65R-37962  
**Applicant:** Weston Valley Investments (Block 34) Inc.  
**City of Vaughan**

**Signing Officers**  
 \_\_\_\_\_  
 Mayor  
 \_\_\_\_\_  
 Clerk

# Zoning By-law 001 - 2021

Schedule A | Map 224



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1:5,000  
December, 2024

This is Schedule '3'  
To By-Law 241-2024  
Passed the 17th Day of December, 2024

**File:** Z.22.040  
**Related Files:** OP.22.019, 19T-22V014  
**Location:** Part of Lot 29, Concession 5,  
 Parts 1-3, 65R-37962  
**Applicant:** Weston Valley Investments (Block 34) Inc.  
**City of Vaughan**

Signing Officers

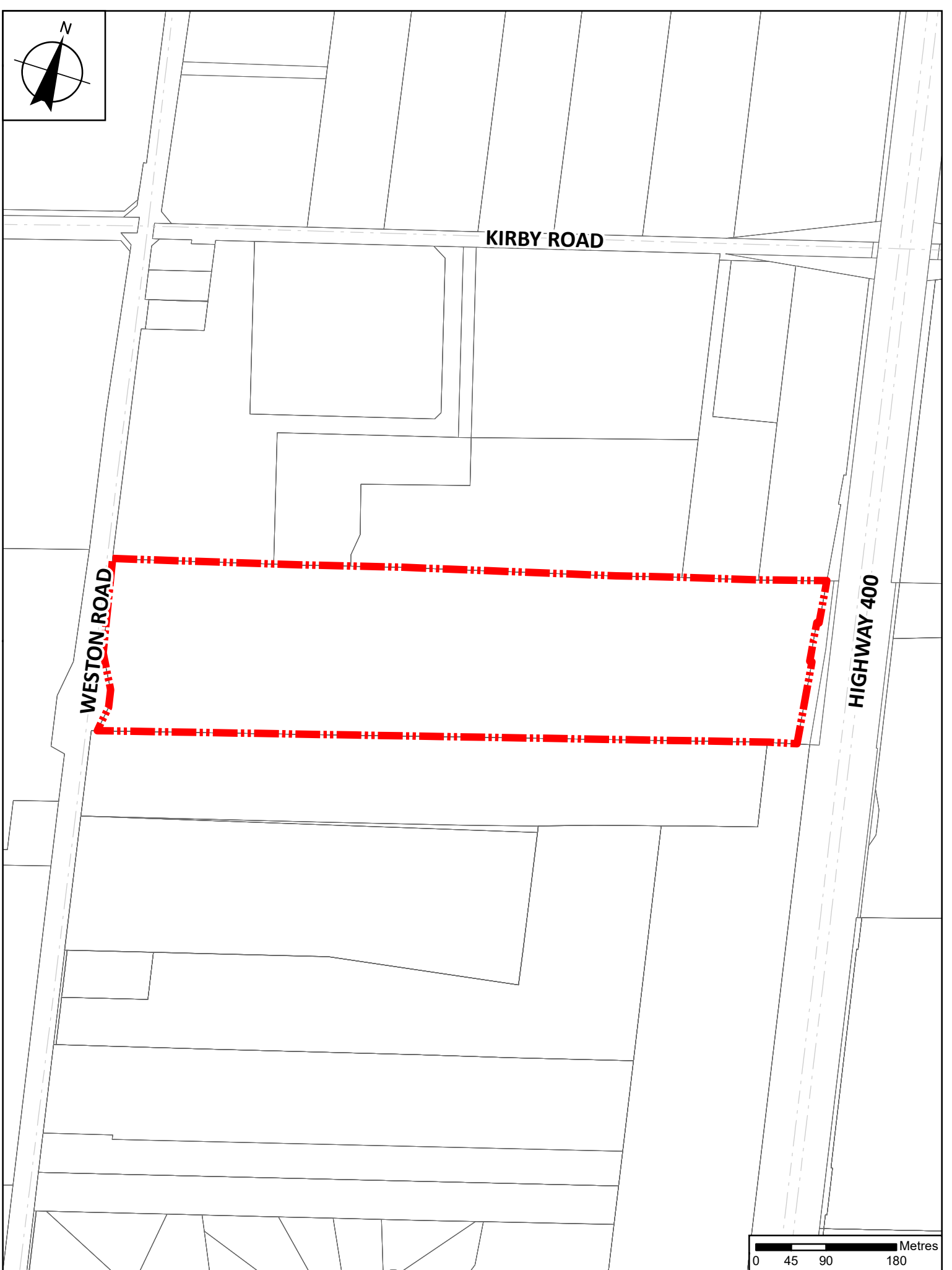
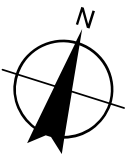
\_\_\_\_\_  
Mayor

\_\_\_\_\_  
Clerk

## **SUMMARY TO BY-LAW 241-2024**

The lands subject to this By-law are located east of Weston Road and south of Kirby Road, in Part of Lot 29, Concession 5, City of Vaughan.

The purpose of this by-law is to amend the City of Vaughan Zoning By-law 001-2021 to rezone the subject lands from FD Future Development Zone with site-specific Exception 1110 and EP Environmental Protection Zone, to EMU Employment Commercial Mixed-Use Zone and EP Environmental Protection Zone and to add site-specific exceptions to facilitate the proposed Mixed Use Employment/Commercial Subdivision Plan development.



# Location Map To By-Law 241-2024

**File:** Z.22.040

**Related Files:** OP.22.019, 19T-22V014

**Location:** Part of Lot 29, Concession 5,  
Parts 1-3, 65R-37962

**Applicant:** Weston Valley Investments (Block 34) Inc.

**City of Vaughan**



Subject Lands