

THE CITY OF VAUGHAN

BY-LAW

BY-LAW NUMBER 108-2015

A By-law to adopt Amendment Number 10 to the Vaughan Official Plan 2010 for the Vaughan Planning Area.

NOW THEREFORE the Council of the Corporation of the City of Vaughan ENACTS AS FOLLOWS:

1. THAT the attached Amendment Number 10 to the Vaughan Official Plan 2010 of the Vaughan Planning Area, consisting of the attached text and Schedules “1” and “2” is hereby adopted.
2. AND THAT this By-law shall come into force and take effect the day after the last day for filing a notice of appeal.

Enacted by City of Vaughan Council this 23rd day of June, 2015.

Hon. Maurizio Bevilacqua, Mayor

Jeffrey A. Abrams, City Clerk

**AMENDMENT NUMBER 10
TO THE VAUGHAN OFFICIAL PLAN 2010
OF THE VAUGHAN PLANNING AREA**

The following text and Schedules “1” and “2” constitute Amendment Number 10 to the Official Plan of the Vaughan Planning Area.

Also attached hereto but not constituting part of the Amendment is Appendix “I”.

I PURPOSE

The purpose of this Amendment to the Vaughan Official Plan 2010 (VOP 2010) is to amend the provisions of the Official Plan of the Vaughan Planning Area, specifically, Volume 2, Section 13.31 Site Specific Policies, to permit a gas station with limited accessory uses on the subject lands.

This Amendment will facilitate the following with respect to the Subject Lands identified as "Area Subject to Amendment No. 10" on Schedule "1" attached hereto:

1. Permit one gas station accessory to a permitted retail use only, with no vehicular access from Regional Road 7.
2. Permit only one Automobile Service Station and one Automotive Retail Store as accessory uses to a Retail Store, to be located within a wholly enclosed building containing a permitted retail store.
3. Permit surface parking to be located between the front and side face of a low rise building, and the public street or sidewalk, except between a building and Regional Road 7 and between a building and New Huntington Road, unless deemed appropriate by the City of Vaughan as determined through the site plan review process.

II LOCATION

The lands subject to this Amendment, hereinafter referred to as the "Subject Lands", are located on the northwest corner of Regional Road 7 and Highway 427, being Part of Lot 6, Concession 9, City of Vaughan, as shown on Schedule "1" attached hereto as "Area Subject to Amendment No. 10."

III BASIS

The decision to amend City of Vaughan Official Plan 2010 (VOP 2010) is based on the following considerations:

1. The Zoning By-law permits a retail store as-of-right on the subject lands. The Gas Station will be permitted only as an accessory use to the retail store, and in a defined area on the Subject Lands which will have minimal impact on Regional Road 7. No access from Regional Road 7 is permitted for the gas station.

2. Due to the site being bounded by roads on three and a half sides, permitting parking between the front or side face of a building is required to facilitate development on the Subject Lands.
3. The accessory Automobile Service Station and Automotive Retail Store uses will be located within the retail store, and therefore, will have minimal impact on Regional Road 7.
4. The statutory Public Hearing was held on March 3, 2015. The recommendation of the Committee of the Whole to receive the Public Hearing report of March 3, 2015, and to forward a comprehensive report to a future Committee of the Whole meeting, was ratified by Vaughan Council on June 23, 2015, when Vaughan Council approved Official Plan Amendment File OP.15.001, (Seven 427 Developments Inc.).
5. On March 3, 2015, York Region exempted this Amendment from Regional approval, in accordance with Regional Official Plan Policy 7.2.7, as it does not adversely affect Regional planning policies or interests.

IV DETAILS OF THE AMENDMENT AND POLICIES RELATIVE THERETO

The Vaughan Official Plan 2010 (VOP 2010) is hereby amended by:

1. Adding the following policies to Section 13.31 Site Specific Policies after Policy 13.31.1.6:

“(OPA #10) 13.31.1.7 In addition to the policies above, the following policies shall also apply to the lands identified on Map 13.31.A:

 - a) Notwithstanding policy 5.2.3.10(a) and (e) or anything else in this Plan, one Gas Station, accessory to a permitted Retail Store and with no direct access from Regional Road 7, is permitted on the portion of the Subject Lands identified as Area “B” on Schedule 13.31.A. The Gas Station shall be appropriately screened, buffered and setback from Regional Road 7 to the satisfaction of the City of Vaughan.
 - b) Notwithstanding policies 9.2.2.7 and 9.2.3.9 or anything else in this Plan, one Automobile Service Station and one Automobile Retail Store are permitted as accessory uses to a permitted Retail Store. Car Wash, Eating Establishment and Convenience Retail uses are not permitted as accessory uses to a Gas Station.

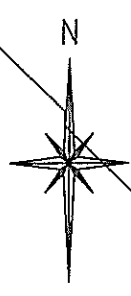
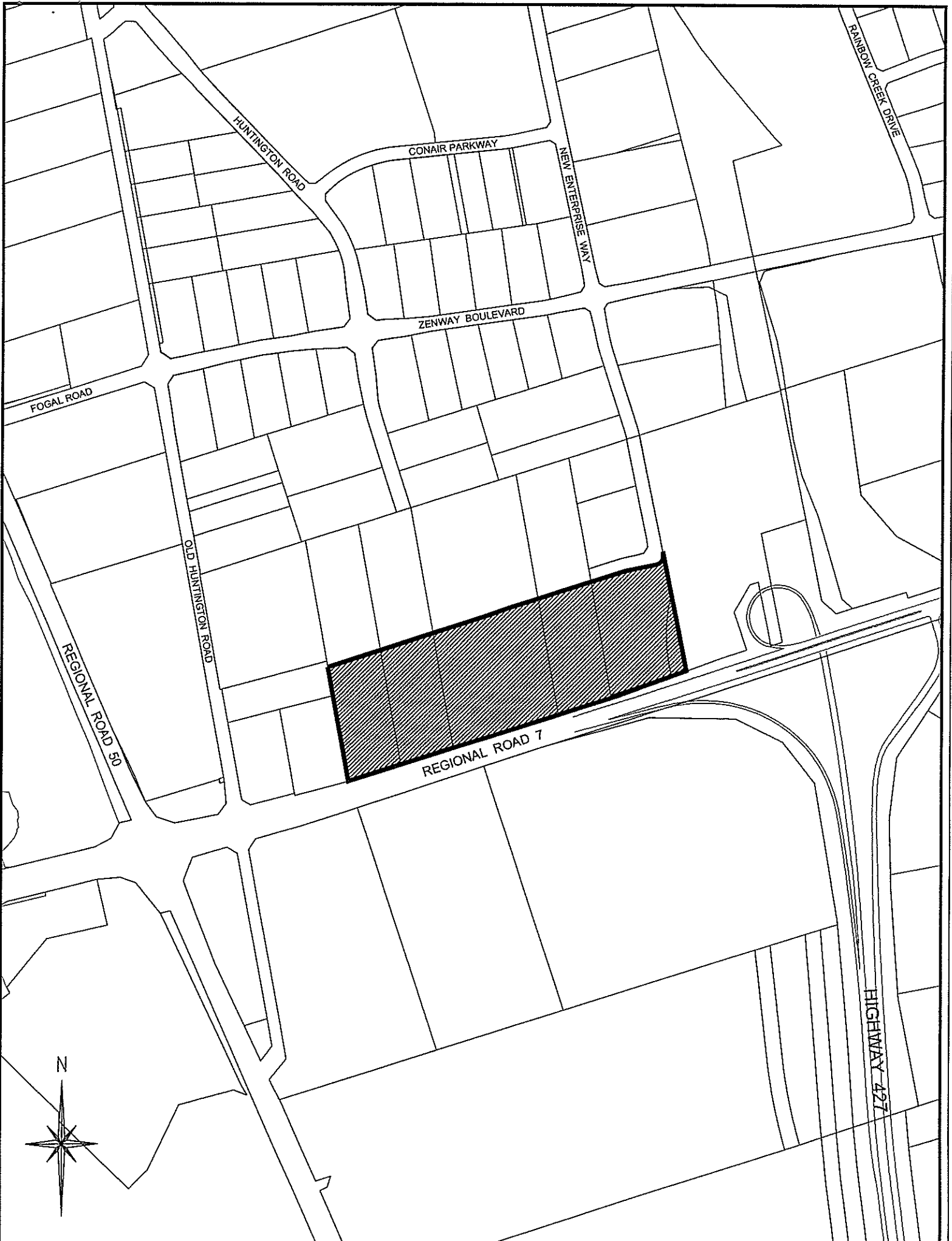
- c) Notwithstanding policies 9.1.2.6(e) and 9.2.3.4(c) or anything else in this plan, surface parking is permitted between the front or side face of a building and a public street or sidewalk, except between a building and Regional Road 7 and/or New Huntington Road. Where it is determined to be appropriate by the City of Vaughan through the Site Development Application review process, minimal parking between the front or side face of a building and Regional Road 7 and/or New Huntington Road may be permitted without an amendment to this Plan. (OPA #10).”

V IMPLEMENTATION

It is intended that the policies of the Official Plan of the Vaughan Planning Area pertaining to the Subject Lands shall be implemented by way of an amendment to the City of Vaughan Comprehensive Zoning By-law 1-88, and Site Development Approval, pursuant to the *Planning Act*.

VI INTERPRETATION

The provisions of the Official Plan of the Vaughan Planning Area as amended from time to time regarding the interpretation of that Plan shall apply with respect to this Amendment.




**AREA SUBJECT TO
AMENDMENT No. 10**

THIS IS SCHEDULE '1' TO AMENDMENT No. 10

NOT TO SCALE

ADOPTED THE 23RD DAY OF JUNE, 2015

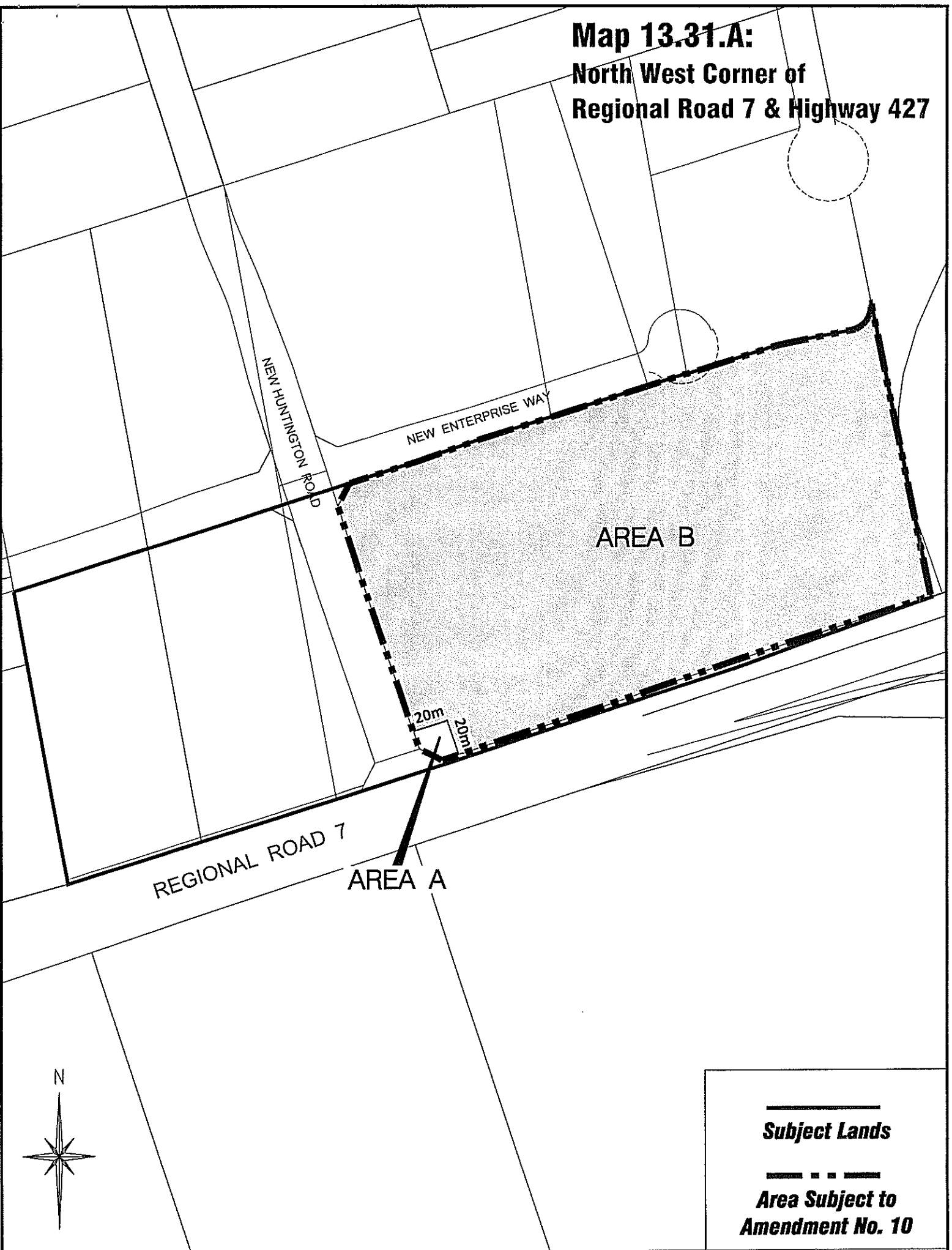
FILE No's. OPA #10 & OP.15.001
LOCATION: Part of Lot 6, Concession 9
APPLICANT: SEVEN 427 DEVELOPMENTS INC.
CITY OF VAUGHAN

SIGNING OFFICERS

MAYOR

CLERK

Map 13.31.A:
North West Corner of
Regional Road 7 & Highway 427



NOT TO SCALE

THIS IS SCHEDULE '2'
TO AMENDMENT No. 10
ADOPTED THE 23RD DAY OF JUNE, 2015

FILE No's. OPA #10 & OP.15.001
LOCATION: Part of Lot 6, Concession 9
APPLICANT: SEVEN 427 DEVELOPMENTS INC.
CITY OF VAUGHAN

SIGNING OFFICERS

MAYOR

CLERK

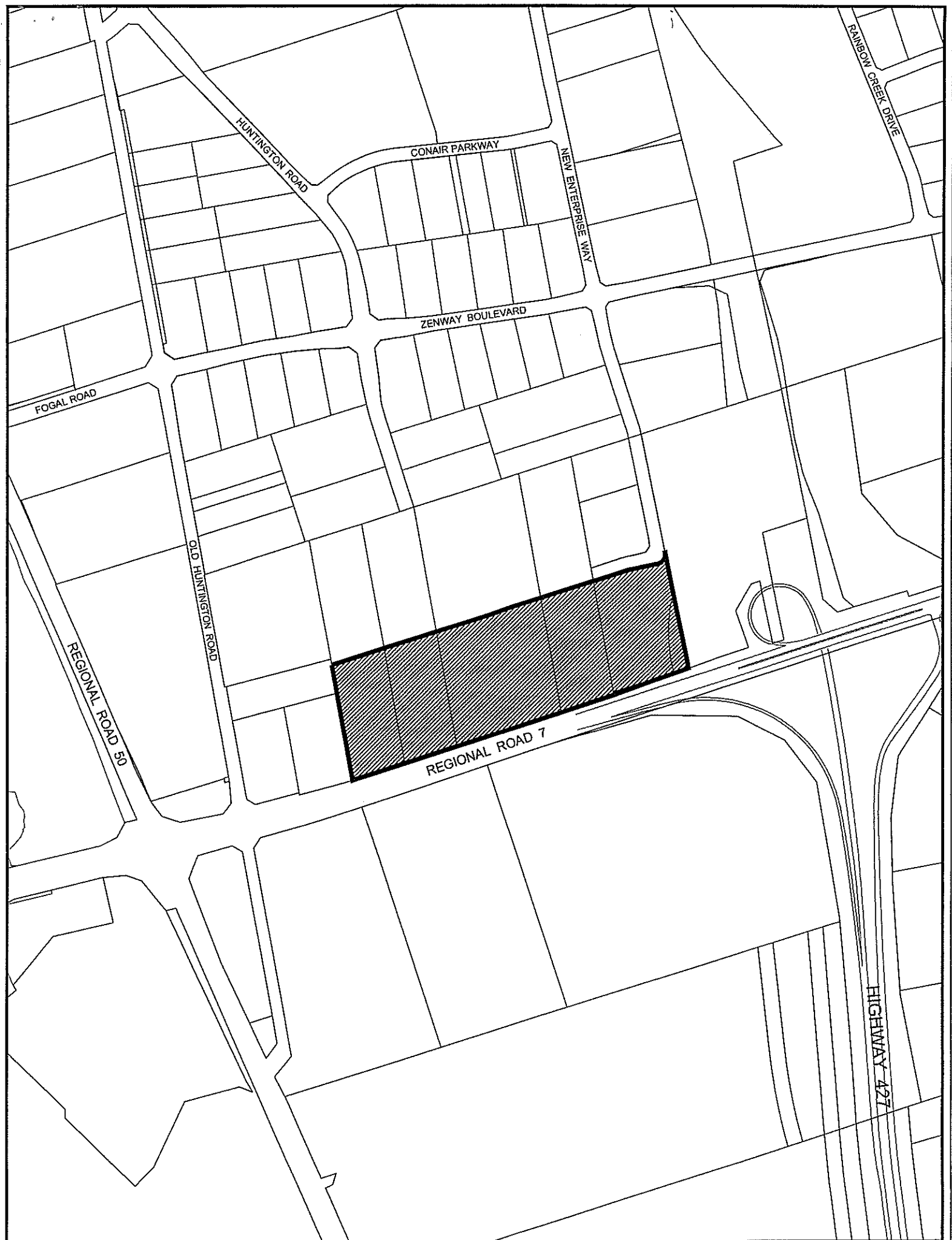
APPENDIX I

The Subject Lands are located at the northwest corner of Regional Road 7 and Highway 427 in the City of Vaughan.

The purpose of this Amendment is to permit an accessory gas station on the lands identified as Area B within the subject lands, and one automobile service station on the lands identified as Area A and Area B within the subject lands. The purpose of the Amendment is also to permit surface parking to be located between the front and side face of a low-rise building, public street and sidewalk, subject to appropriate screening and buffering to be reviewed through the site plan review process to the satisfaction of the City of Vaughan.

On June 23, 2015, Vaughan Council ratified the June 16, 2015 recommendation of the Committee of the Whole recommendation, to approve Official Plan Amendment File OP.15.001 (Seven 427 Development Inc.) as follows (in part):

- "1. THAT Official Plan Amendment File OP.15.001 (Seven 427 Developments Inc.) BE APPROVED, to amend Vaughan Official Plan 2010 (VOP 2010), specifically Volume 2, Site Specific Policy 13.31 to:
- a) permit the following uses on the subject lands shown on Attachments #1 and #2:
 - i) one Gas Station accessory to a permitted retail use only, with no vehicular access from Regional Road 7;
 - ii) only the following uses accessory to a Gas Station:
 - one Automobile Service Station and one Automotive Retail Store only, each within a wholly enclosed building;
 - b) prohibit the following accessory uses to a Gas Station on the subject lands:
 - a car wash;
 - any eating establishment;
 - convenience retail use;
 - c) permit surface parking to be located between the front and side face of a low-rise building, public street and sidewalk, subject to appropriate screening and buffering to be reviewed through the site plan review process to the satisfaction of the City of Vaughan."



NOT TO SCALE



**AREA SUBJECT TO
AMENDMENT No. 10**

LOCATION MAP TO AMENDMENT No. 10

FILE No's. OPA #10 & OP.15.001
LOCATION: Part of Lot 6, Concession 9
APPLICANT: SEVEN 427 DEVELOPMENTS INC.
CITY OF VAUGHAN

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