



Residential Grading Approval – Application Requirements

As per Building Permit Application requirements, Grading Approvals must be approved and issued prior to the application for the associated Building Permit.

The following information is required with all residential grading approval applications:

****PLEASE NOTE- IF APPLYING IN PERSON 3 ORIGINAL STAMPED DRAWINGS ARE REQUIRED.**

Drawing Requirements

For Infill Lots or Additions (Lots not governed by a current subdivision agreement)

- Lot grading plan prepared, sealed and signed by an Ontario Land Surveyor or a Professional Engineer (Digital stamps or photocopies are not permitted.)
 - If your addition is less than 40m² added to the ground floor, please contact the Development Engineering Department for requirements

For Subdivision Lots (Lots governed by a current subdivision agreement)

- Lot grading plan prepared, sealed and signed by the Developer's Consulting Engineer
- Stamped approval by Architectural Control or other stipulations required by some subdivision agreements

Additional Information Required for Application

- [Permit Application Form](#) (required for email submission only)
- Tree removal permit (if applicable)
- Agent Authorization (if applicable)
- Any other documents that pertain to your project (e.g. conditions related to subdivision agreements, York Region approvals, COA, TRCA, etc.)

All lot grading plans must comply with [Schedule O](#) for Subdivision lots and [Lot Grading Notes](#) for Infill lots.

All grading plans are to illustrate the full extent of landscaping to be completed as part of the associated works. A full inventory of all trees ≥ 20 cm diameter is to be shown on all grading plans. Any additional works built that are not clearly shown on the approved grading plan will be subject to further review in the field. If these works are found to be in contravention of the City of Vaughan Lot Grading Criteria and/or negatively impacting adjacent properties, they will be required to be removed and could be the cause for the permit security to be held. Fees are charged for additional inspections, should they be required, as prescribed in the City of Vaughan Fees and Charges By-Law.

Fees

Grading Approval fees are payable at the time of application and are as follows:

Subdivision Lot	\$440.00 singles/semis	\$265.00 townhomes per lot
Infill Lot/Addition	\$700.00	

Please note that there is an additional fee of \$110.00 for a third review (and each review thereafter) due to deficiencies. To avoid this fee, please ensure that **all** deficiencies have been rectified upon your second submission (if applicable.)

Note: Fees are subject to change under Fees & Charges By-law. All fees are non-refundable.



Permit Processing and Turn-Around Time

Applications will not be accepted without the necessary documents and fees. If you would like clarification on your requirements, please contact Development Engineering Department at 905-832-8585

Once a complete permit application is made the application will be forwarded and reviewed by a Lot Grading Coordinator in the Development Engineering Department. For grading permits (except subdivision), the Lot Grading Coordinator will conduct a pre-construction inspection as part of their review. This will occur during business hours. The applicant will be advised directly by the Lot Grading Coordinator of any deficiencies resulting from their permit application review.

Grading Approval review times are dependent upon application volumes. An application is considered “complete” if all required forms, documents and applicable information have been submitted and all permit fees have been paid. If “complete” the City of Vaughan endeavours to issue the permit or advise applicants of all deficiencies within 10 business days from the date of the application.

Applications that do not have all the required forms, documents and applicable information are considered “incomplete” and are not subject to the timeline specified above.

Where to Apply

- 1. Online portal:** please visit vaughan.ca/DEpermits
- 2. In person** - please bring all required documents to the Development Engineering Department, City of Vaughan City Hall 2nd Floor, 2141 Major Mackenzie Drive, Vaughan.

If the subject lot is serviced by a septic system, your application will be made with the Building Standards Department. Please contact Building Standards at 905-832-8510 prior to applying, as fees may differ, and there are additional requirements due to the septic system.

Office Hours

Monday to Friday
8:30am – 4:30pm (Excluding Statutory Holidays)

Questions?

Phone: 905-832-8585
Development Engineering Department

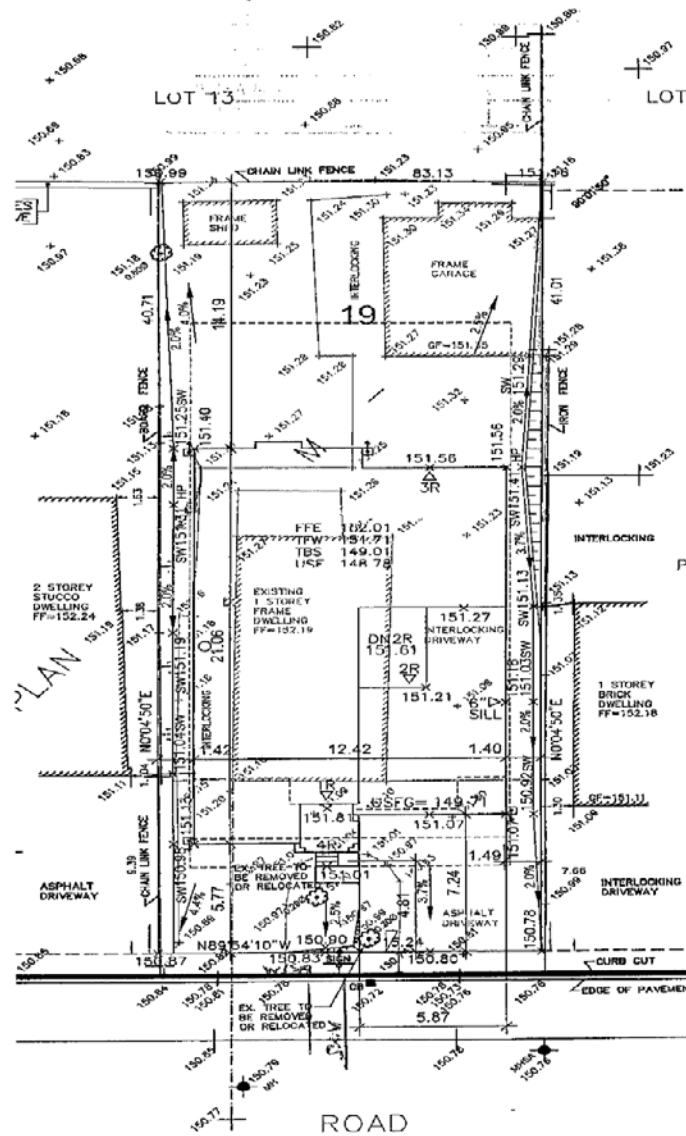
*Please be aware that it is the owner/contractor’s responsibility to obtain locates for all utilities prior to commencing construction. A Grading Approval application does not constitute notification of your works to any utility, including those owned by the City of Vaughan. **For more information, visit <http://www.on1call.com>***

NOTE: STORM & SANITARY SEWER LATERALS TO BE LOCATED AT THE STREETLINE AND ELEVATIONS TO BE VERIFIED BY THE ENGINEER PRIOR TO POURING FOOTINGS

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE



CLIENT	
PROJECT/LOCATION	
VAUGHAN, ONTARIO	
DRAWING	
SITING & GRADING PLAN	
BUILDING STATISTICS	
REG. PLAN No.	M-
ZONE	R3
LOT NUMBER	19
LOT AREA(m) ²	625.05m ²
BLOG AREA(m) ²	248.56m ²
LOT COVERAGE(%)	39.8%
No. OF STOREYS	2
MEAN HEIGHT(m)	8.65m
PEAK HEIGHT(m)	N/A
DECK LINE(m)	N/A



FOR REFERENCE ONLY

LEGEND	
Existing Grade	EXISTING GRADE
Proposed Grade	PROPOSED GRADE
FFE	FINISHED FLOOR ELEVATION
TFW	TOP OF FOUNDATION WALL
TBS	TOP OF BASEMENT SLAB
USF	UNDER SIDE FOOTING
USFR	UNDER SIDE FOOTING @ REAR
USFG	UNDER SIDE FOOTING @ GARAGE
TEP	TOP OF ENGINEERED FILL
R	NUMBER OF RIGERS TO GRADE
WOD	WALKOUT DECK
LOB	LOOKOUT BASEMENT
WOB	WALK OUT BASEMENT
REV	REVERSE PLAN
STD	STANDARD PLAN
□	DOOR
○	WINDOW
△	BELL PED/STAL
□	CABLE PED/STAL
□	CATCH BASIN
□	ENGINEERED FILL
□	HYDRO CONNECTION
□	FIRE HYDRANT
□	STREET LIGHT
□	MAIL BOX
□	TRANSFORMER
□	WATER VALVE
□	WATER CONNECTION
□	SEWER CONNECTIONS
□	SEWER CONNECTIONS
□	1 LOT
□	AIR CONDITIONING
□	DOWN SPOUT TO SPLASH PAD
□	SWALE DIRECTION
---	CHAIN LINK FENCE
---	PRIVACY FENCE
---	SOUND BARRIER
---	FOOTING TO BE EXTENDED TO 1.35 (MIN) BELOW GRADE

ISSUED OR REVISION COMMENTS			
NO.	DESCRIPTION	DATE	OWN/CHK

APPROVED FOR GRADING
 I, hereby certify that the building type, appurtenant grading, drainage and servicing works proposed for LOT 19, Plan M-1114 complies with sound engineering design and that the proposed grading is in conformity with the overall grading plans reviewed as schedules to the subdivision agreement and with adjacent lands for both drainage and relative elevations



DRAWN BY	
SCALE	1:250
PROJECT NO.	